

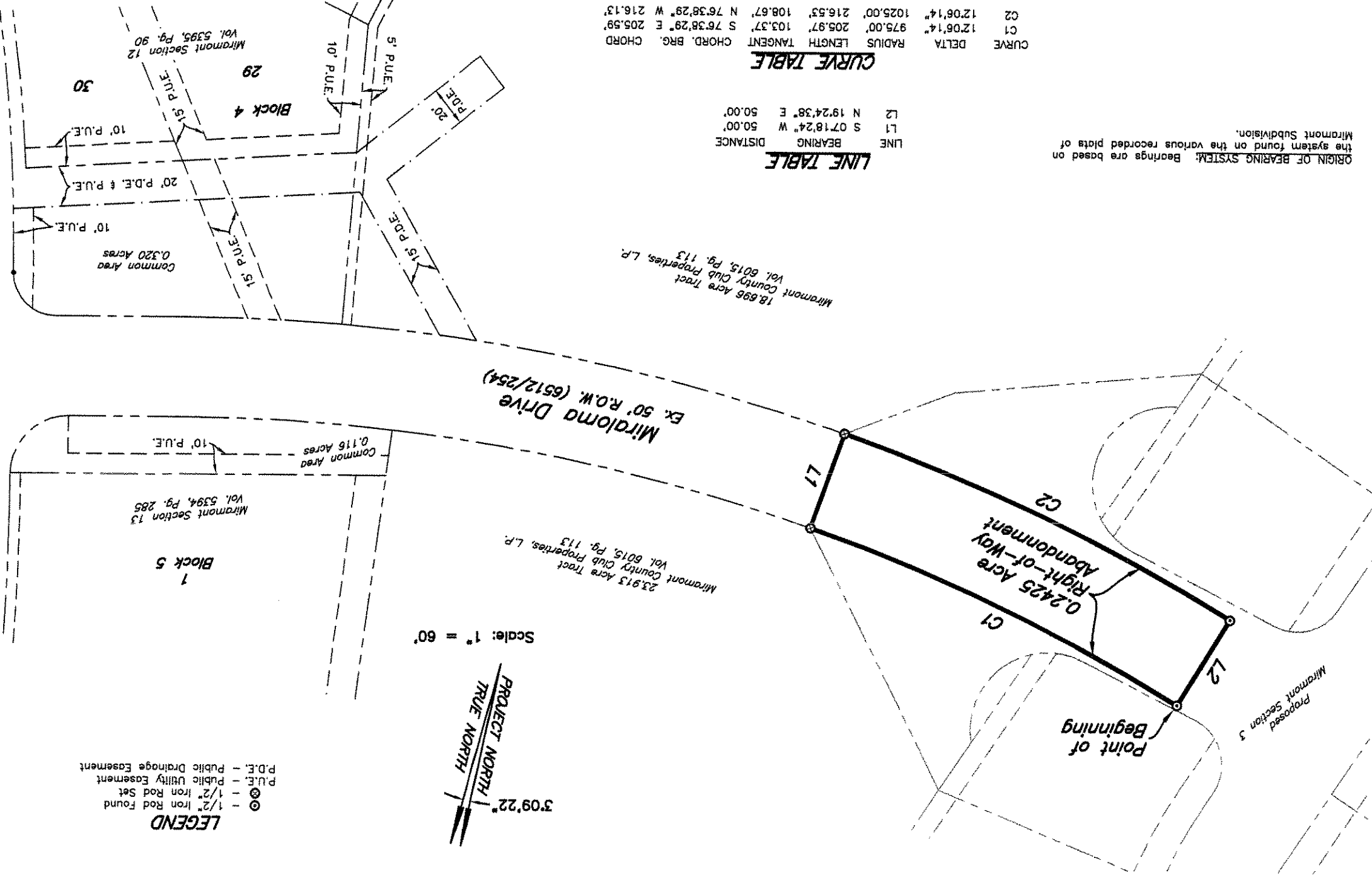
ORIGIN OF BEARING SYSTEM: Bearings are based on the system found on the various recorded plats of Miramont Subdivision.

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 07°18'24" W	50.00'
L2	N 19°24'38" E	50.00'

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	BEG. CHORD
C1	12°06'14"	975.00'	205.97'	103.37'	S 76°38'29" E	205.59'
C2	12°06'14"	1025.00'	216.53'	108.67'	N 76°38'29" W	216.13'



Scale: 1" = 60'

3°09'22"
PROJECT NORTH
TRUE NORTH

LEGEND
● - 1/2" Iron Rod Found
⊙ - 1/2" Iron Rod Set
P.U.E. - Public Utility Easement
P.D.E. - Public Drainage Easement

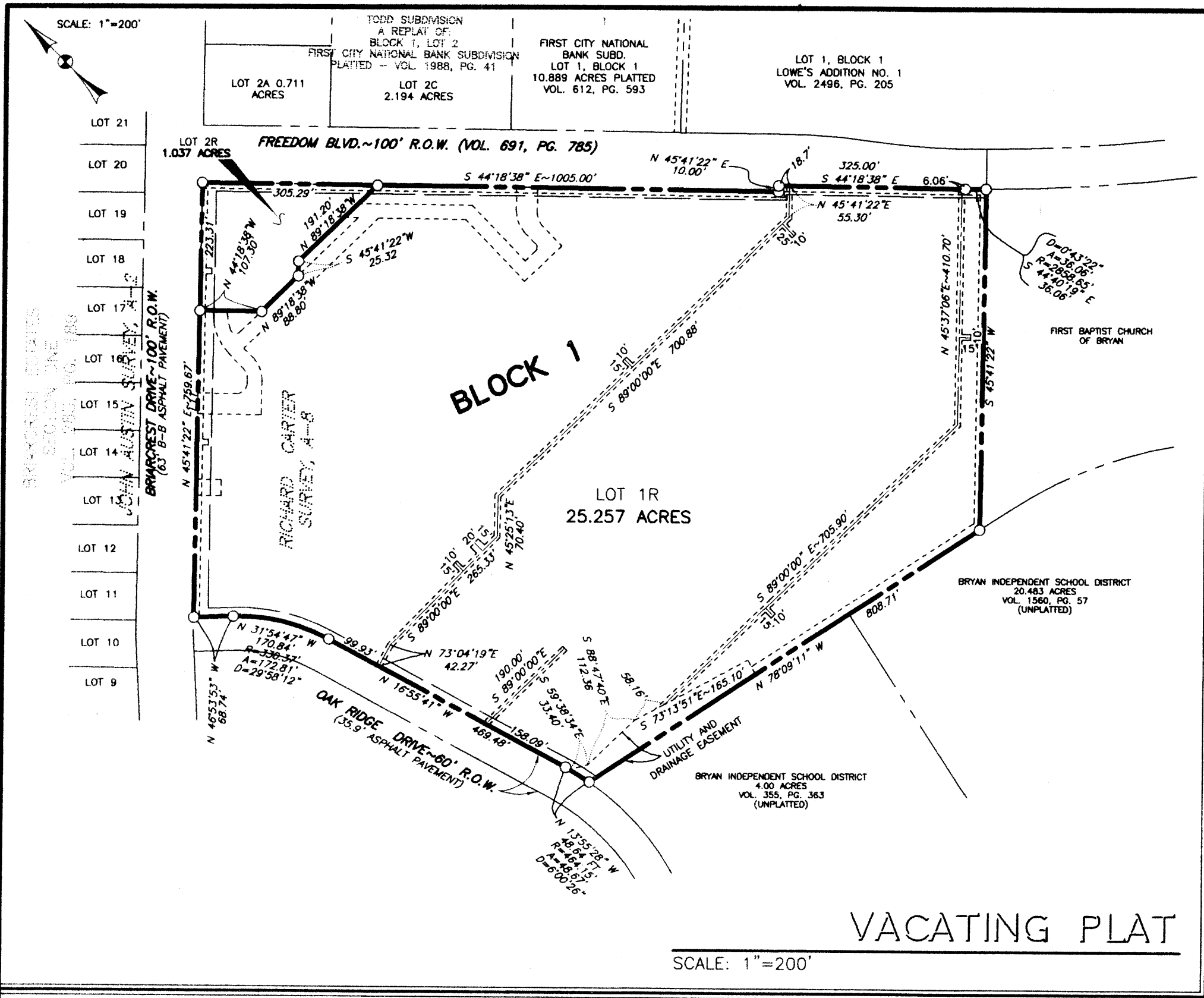
Miramont Circle
60' R.O.W.
Vol. 5394, Pg. 266

Development & Engineering
Services

MAR 1 2006

Received

SC06-01



CERTIFICATION OF THE SURVEYOR

I, S. M. Kling, Registered Professional Land Surveyor No. 2003, in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that property markers and monuments were placed under my supervision on the ground, and that the metes and bounds describing said subdivision will describe a closed geometric form.

S. M. Kling, R.P.L.S. No. 2003



APPROVAL OF THE PLANNING AND ZONING COMMISSION

I, _____, Chairman of the Planning and Zoning Commission of the City of Bryan, State of Texas, hereby certify that the attached plat was duly filed for approval with the Planning & Zoning Commission of the City of Bryan on the _____ day of _____, 2006 and same was duly approved on the _____ day of _____, 2006 by said Commission.

Chairman, Planning & Zoning Commission
City of Bryan, Texas

APPROVAL OF THE CITY ENGINEER

I, the undersigned, City Engineer of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the _____ day of _____, 2006.

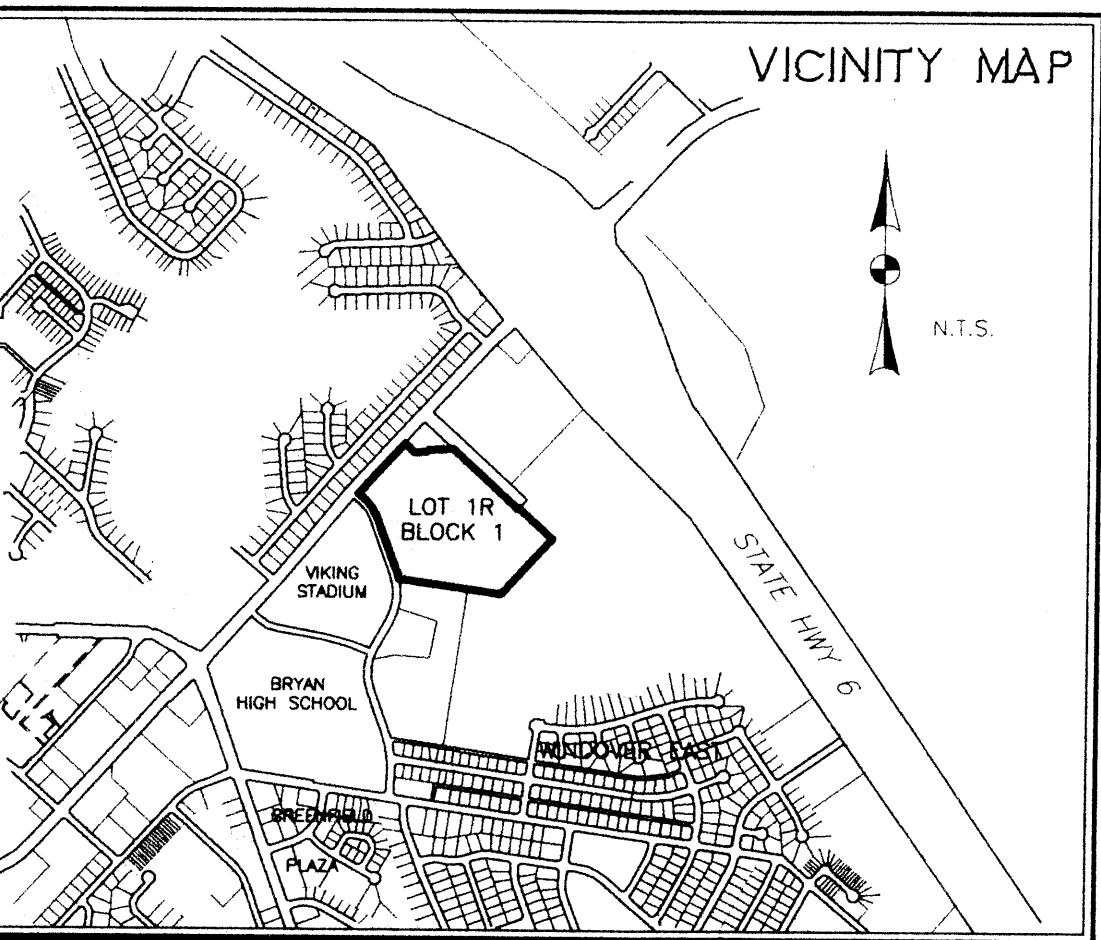
City Engineer, Bryan, Texas

CERTIFICATION BY THE COUNTY CLERK

STATE OF TEXAS
COUNTY OF BRAZOS

I, Karen McQueen, County Clerk in and for said county, do hereby certify that this plat together with its certificates of authentication was filed for record in my office the _____ day of _____, 2006, in the Official Records of Brazos County, Texas, in Volume _____ Page _____.

Karen McQueen, County Clerk, Brazos County, Texas



25' ACCESS EASEMENT METES:

CURVE	DELTA	RADIUS	ARC	CHORD	TANGENT	CHORD BRG
1	44°38'56"	25.00	19.48	18.99	10.27	S 23°19'28"W
2	44°42'00"	50.00	39.01	38.03	20.56	S 23°21'00"W
3	90°00'00"	20.00	31.42	28.28	20.00	S 89°18'00"E
4	44°42'00"	25.00	19.50	19.01	10.28	N 23°21'00"E
5	44°41'22"	100.00	78.00	76.04	41.10	N 23°20'41"E
6	23°38'53"	75.00	40.96	39.74	15.72	S 33°15'56"W
7	111°21'07"	10.00	19.43	16.52	14.65	S 33°38'04"E
8	90°00'00"	10.00	15.71	14.14	10.00	N 46°00'00"E
9	44°38'56"	50.00	38.96	37.99	20.53	N 23°19'28"E

25' ACCESS EASEMENT METES:

LINE	BEARING	DIST.
1	S 44°18'38"E	36.00
2	S 45°38'56"W	47.37
3	S 01°00'00"W	51.86
4	N 89°00'00"W	88.50
5	N 01°00'00"E	149.16
6	N 44°18'38"W	151.85
7	N 89°18'38"W	325.05
8	S 01°00'00"W	25.56
9	S 45°42'00"W	62.53
10	N 44°18'00"E	110.54
11	N 45°41'22"E	36.00
12	S 44°18'00"E	65.55
13	N 45°42'00"E	6.53
14	N 01°00'00"E	37.30
15	N 45°41'22"E	3.44
16	S 44°18'38"E	25.00
17	S 45°41'22"W	3.44
18	S 89°18'38"E	285.52
19	N 44°18'38"W	25.32
20	S 89°18'38"E	35.36
21	S 44°18'38"E	197.96
22	S 01°00'00"W	134.59
23	S 89°00'00"W	23.50
24	N 01°00'00"E	27.45
25	N 45°38'56"E	43.37

Amending Plat
Lot 1R, Block 1
25.257 Acres
Briarcrest Wal-Mart Subdivision
Richard Carter Survey, A-8
Bryan, Brazos County, Texas

Field notes of a 25.257 acre tract or parcel of land, lying and being situated in the Richard Carter Survey, Abstract No. 8, Bryan, Brazos County, Texas, and being All of Lot 1R, Block 1, Replat of the Amending Plat of Lot 1A, Block 1 (26.294 Acres), Briarcrest Wal-Mart Subdivision according to Volume 2629, Page 301, of the Official Records of Brazos County, Texas, and being more particularly described as follows:

COMMENCING at the 1/2" iron rod found marking the north corner of Lot 2R, Block 1, of the abovementioned Replat of the Amending Plat (Vol. 2629, Pg. 301) same being at the intersection of the southeast right-of-way line of Briarcrest Drive (100' right-of-way) with the southwest right-of-way line of Freedom Boulevard (100' R.O.W.), according to the plat recorded in Volume 691, Page 785, of the Deed Records of Brazos County, Texas;

THENCE S 44° 18' 38" E along the southwest right-of-way line of Freedom Boulevard for a distance of 305.29 feet to a 1/2" iron rod set at the east corner of Lot 2R, same being the northeast corner of Lot 1R for the Point of Beginning of this description;

THENCE continuing along the southwest and southeast right-of-way lines of Freedom Boulevard as follows:

S 44° 18' 38" E 699.71 feet to a 2" iron pipe found at a south corner of Freedom Boulevard;

N 45° 41' 22" E 10.00 feet to a 2" iron pipe found in the southwest right-of-way line of the extension of Freedom Boulevard according to the plat of Briarcrest Wal-Mart Subdivision recorded in Volume 1880, Page 315, of the Official Records of Brazos County, Texas;

THENCE continue along the southwest right-of-way line of Freedom Boulevard as follows:

S 44° 18' 38" E 325.00 feet to a 2" iron pipe found for the beginning of a curve concave to the northeast, having a radius of 2858.65 feet;

Southeasterly along said curve, for an arc length of 36.06 feet to a 2" iron pipe found, the chord bears S 44° 40' 19" E 36.06 feet;

THENCE S 45° 41' 22" W parallel with Briarcrest Drive, for a distance of 593.62 feet to a 2" iron pipe found in the northeast line of a 20.483 acre tract described in the deed from Window Company of Bryan to Bryan Independent School District, recorded in Volume 1560, Page 57, of the Official Records of Brazos County, Texas;

THENCE N 78° 09' 11" W along the northeast line of the aforementioned 20.483 acre tract, at a distance of 270.74 feet, pass a 1/2" iron rod found marking the north corner of the said 20.483 acre tract, same being the east corner of a 4.00 acre tract described in the deed to Bryan Independent School District recorded in Volume 355, Page 363, of the Deed Records of Brazos County, Texas, continue along the northeast line of said 4.00 acre tract, at a distance of 375.11 feet, pass a 2" iron pipe found at the south corner of the aforementioned Lot 1A, Block 1, Amending Plat of Briarcrest Wal-Mart Subdivision, continue on for a total distance of 808.71 feet to a 2" iron pipe found in the east right-of-way line of Oak Ridge Drive (60' right-of-way), same being in a curve concave to the west, having a radius of 464.15 feet;

THENCE along the east right-of-way line of Oak Ridge Drive, as follows:

Northwesterly along said curve, for an arc length of 48.67 feet to a 1/2" iron rod found marking the end of this curve, the chord bears N 13° 55' 28" W 48.64 feet;

N 16° 55' 41" W 469.48 feet to a 1/2" iron rod found marking the beginning of a curve, concave to the southwest, having a radius of 330.37 feet;

Northwesterly along said curve, for an arc length of 172.81 feet to a 2" iron pipe found for the end of this curve, the chord bears N 31° 54' 42" W 170.85 feet;

N 46° 53' 53" W 68.74 feet to a 2" iron pipe found at the west corner of the aforementioned Lot 1A, Block 1 - 26.294 Acres, same being the intersection of the northeast right-of-way line of Oak Ridge Drive with the southeast right-of-way line of Briarcrest Drive;

THENCE N 45° 41' 22" E along the southeast right-of-way line of Briarcrest Drive, for a distance of 536.36 feet to a lead plug & tack set;

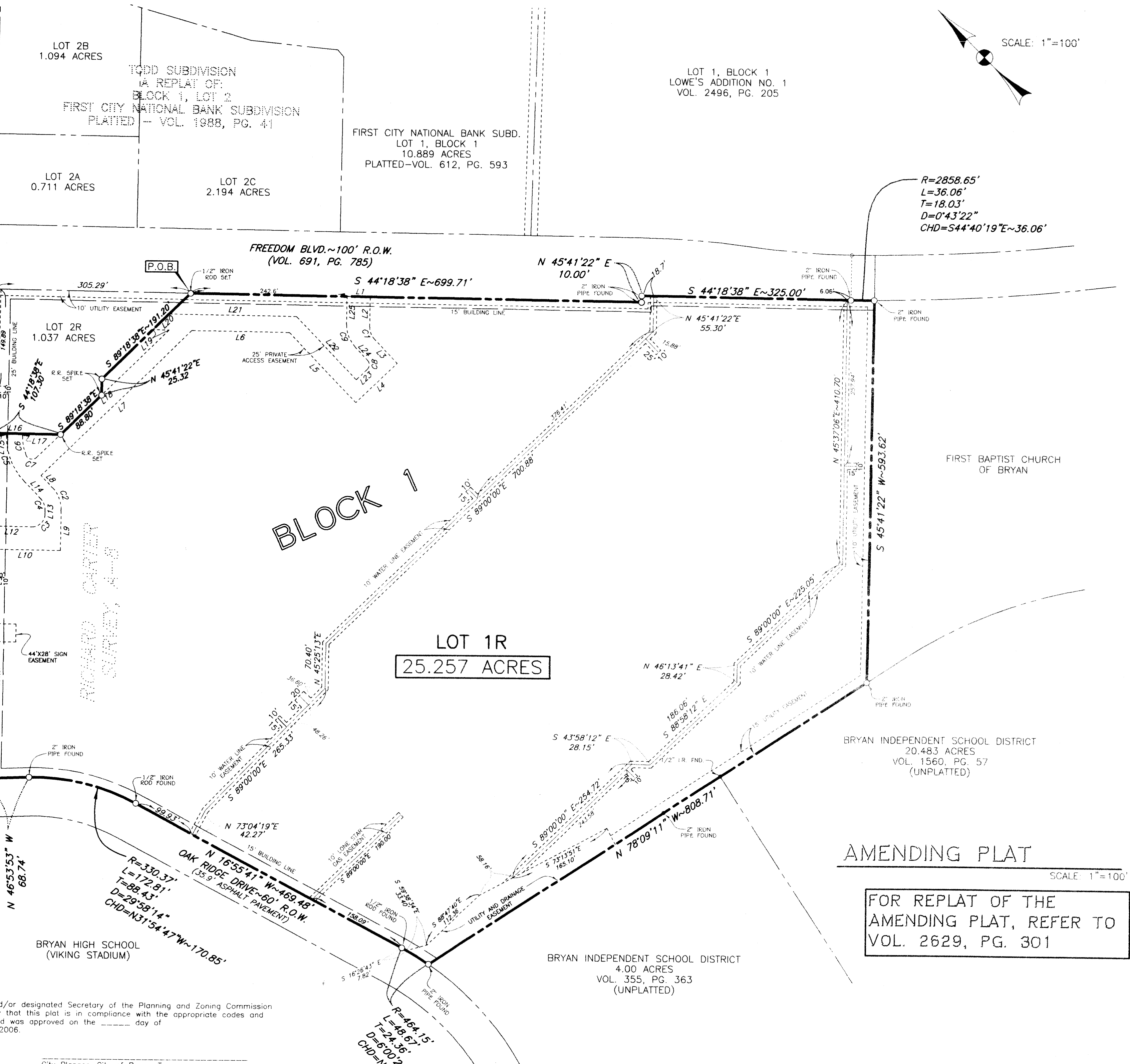
THENCE along the common line between the aforementioned Lot 2R and Lot 1R and across the existing asphalt pavement as follows:

S 44° 18' 38" E for a distance of 107.30 feet to a Railroad Spike Set;

S 89° 18' 38" E for a distance of 88.80 feet to a Railroad Spike Set;

N 45° 41' 22" E for a distance of 25.32 feet to a Railroad Spike Set;

S 89° 18' 38" E for a distance of 191.20 feet to the PLACE OF BEGINNING, containing 25.257 acres of land, more or less.



APPROVAL OF THE CITY PLANNER

I, the undersigned, City Planner and/or designated Secretary of the Planning and Zoning Commission of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the _____ day of _____, 2006.

City Planner, City of Bryan, Texas.

OWNER'S ACKNOWLEDGMENTS AND DEDICATIONS

STATE OF ARKANSAS
COUNTY OF BENTON

I, Jane Bullock, Plans Administrator of Wal-Mart Stores, Inc., Owner and Developer of Lot 1R, Block 1, Amending Plat of Lot 1A, Block 1, Briarcrest Wal-Mart Subdivision, Volume 1917, Page 7 of the Official Records of Brazos County, Texas, and designated herein as Replat of the Amending Plat, Lot 1A, Block 1, Briarcrest Wal-Mart, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements, and public places thereon shown for the purpose and consideration therein expressed.

Owner - Jane Bullock, Plans Administrator
Wal-Mart Stores, Inc.

STATE OF ARKANSAS
COUNTY OF BENTON

Before me, the undersigned authority, on this day personally appeared Jane Bullock, Plans Administrator of Wal-Mart, Inc., known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein stated.

Given under my hand and seal this _____ day of _____, 2006.

Notary Public in and for the State of Arkansas

Printed Name: _____
My Commission Expires: _____

THE PURPOSE OF THIS AMENDING PLAT IS TO MODIFY THE SOUTHERN 10' WIDE WATER LINE EASEMENT. THERE ARE NO CHANGES TO THE PERIMETER BOUNDARY LINE OF LOT 1R.

- Notes:
- The subject tract is located upstream from the "Limit of Study" according to the Flood Insurance Rate Map of Brazos County, Texas and Incorporated Areas, Community No. 480082, Panel No. 0142 C. Effective Date: July 2, 1992, therefore no definitive floodplain statement can be made.
 - Basis of bearings is the southwest line of Freedom Blvd as recorded in Volume 691, Page 785 with a bearing of S 44°18'38" E.
 - 1/2" iron rods or 2" pipe set or found at all corners.
 - There shall be a 5 foot sideline and rear setback line on all lot lines.
 - Land use is Retail.

AMENDING PLAT
LOT 1R, BLOCK 1
BRIARCREST WAL-MART SUBDIVISION
25.257 ACRES
RICHARD CARTER SURVEY, A-8
BRYAN, BRAZOS COUNTY, TEXAS

SCALE: 1"=100' FEBRUARY, 2006

OWNER & DEVELOPER:
WAL-MART STORES, INC.
JANE BULLOCK, PLANS ADMINISTRATOR
752 SOUTHWEST 8th STREET
BENTONVILLE, ARKANSAS 72716
PHONE: (479) 277-1159

PREPARED BY:
KLING ENGINEERING & SURVEYING
4101 TEXAS AV. + P.O. BOX 4254 + BRYAN, TEXAS + PH. 979/846-6212

AP06-04

SHIREWOOD ADDITION
PHASE IV
V2377,P279

LOT 5
SHIREWOOD ADDITION
PHASE III
V648,P245

VILLAS AT
WESTWOOD
CONDOS

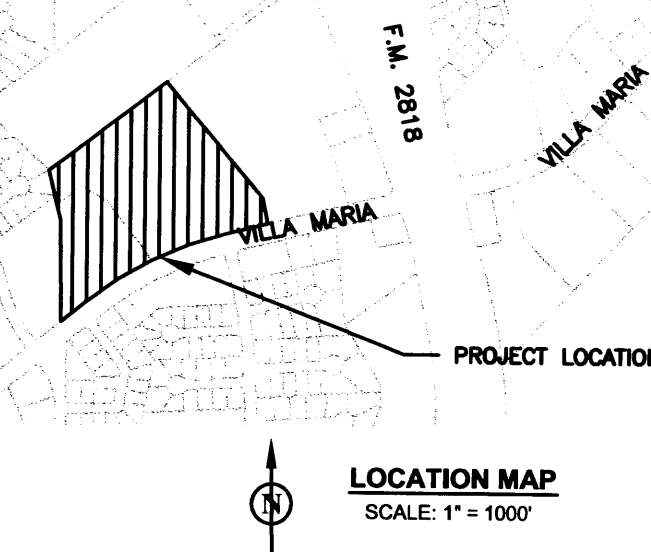
LYON, JOHNNY
FOSTER
13.103 acres
694000-0018-0610

TRACT 'A'
PROPOSED RE-ZONING
PLANNED DEV. (PD)
10.286 ACRES

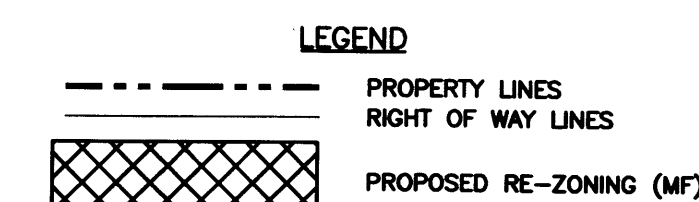
N/F
MR. KENNETH R MELBER
11.927 ACRE TRACT & 3.325
ACRE TRACT
2628/189

TRACT 'B'
ZONED COMMERCIAL (C)
4.852 ACRES

THOMPSON, A
LEON JR
729573 sq ft
694000-0018-0627



- GENERAL NOTES:**
1. THE LAND IS CURRENTLY ZONED COMMERCIAL. THE TOWNHOME PORTION OF THE DEVELOPMENT SHALL BE REZONED TO PLANNED DEVELOPMENT (PD).
 2. THE PROJECT PROPERTY DOES NOT LIE WITHIN THE LIMITS OF THE 100-YEAR FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY: MAP NUMBER 48041C141 C, DATED JULY 2, 1992.
 3. ALL BUILDING SET BACK LINES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CITY OF BRYAN SITE DEVELOPMENT REVIEW ORDINANCE FOR TOWNHOME SUBDIVISIONS.
 5. ALL RIGHT-OF-WAYS SHOWN HEREIN ARE HEREBY DEDICATED TO THE CITY OF BRYAN.
 6. THE METES AND BOUNDS OF PROJECT PROPERTY FOUND HEREIN ARE FROM BOUNDARY SURVEY PROVIDED BY KERR SURVEYING IN AUGUST 2005.
 7. THERE WILL BE A HOME OWNERS ASSOCIATION (HOA) INSTITUTED WITH THIS TOWNHOME DEVELOPMENT. ALL COMMON AREAS AND THE DETENTION POND FACILITY SHALL BE OWNED AND MAINTAINED BY THE HOA.
 8. ALL ACCESS TO COMMERCIAL LOTS SHALL BE FROM LASSITER DRIVE.
 9. ALL RESIDENTIAL STREETS SHALL BE 27' BC-BC (UNLESS NOTED OTHERWISE) AND BE OF ASPHALTIC PAVEMENT AS REQUIRED BY THE CITY OF BRYAN DESIGN SPECIFICATIONS.
 10. THERE IS AN EXISTING 4' SIDEWALK ALONG VILLA MARIA DRIVE THAT WILL NOT BE DISTURBED AND SHALL BE CONNECTED TO INTERNAL SIDEWALK SYSTEM.
 11. PETROLEUM SITE SHALL HAVE SERVICE ACCESS OFF OF VILLA MARIA.
 12. EMERGENCY FIRE TRUCK HAMMERHEAD SHALL BE PROVIDED AT INTERSECTION OF LASSITER BLVD. AND SWEET IRINE STREET FOR PHASE 1 DEVELOPMENT.
 13. ALL WATER, SEWER AND STREET CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BRYAN DESIGN STANDARDS.



DEVELOPMENT PLAN

TRADITIONS BEND TOWNEHOME SUBDIVISION

TRACT 'A' - 10.281 ACRES
PROPOSED ZONING PLANNED DEVELOPMENT (PD)

TRACT 'B' - 4.858 ACRES
ZONED COMMERCIAL (C)

BRYAN, BRAZOS COUNTY, TEXAS
FEBRUARY 2006

DEVELOPER
SAINT CHARLES DEVELOPMENT, LLC
P.O. BOX 10830
COLLEGE STATION, TEXAS 77842
(979) 412-3385

SURVEYOR
KERR SURVEYING, LLC
505 CHURCH AVE
COLLEGE STATION, TEXAS 77840
(979) 268-0150

THIS DRAWING IS RELEASED UNDER THE
AUTHORITY OF JEE GATTIS, P.E. #0064 FOR
THE PURPOSE OF PLAN & REVIEW ONLY. THIS
DRAWING IS NOT INTENDED FOR
CONSTRUCTION OR BIDDING PURPOSES.

GATTIS ENGINEERING
ENGINEERS & CONSULTANTS
P.O. Box 13461 • College Station, Texas 77841 • (979) 575-5022

SHEET 1 OF 1
#E001002-08-01

R206-03

NOTES

1. MONUMENTATION (BENCHMARK) AS SHOWN.
2. THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPREHEND ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE EXACT LOCATION OF ALL UTILITIES SHALL BE FIELD VERIFIED BY CONTRACTOR BEFORE ANY ON-SITE CONSTRUCTION ACTIVITY. IF ANY CONFLICTS EXIST BETWEEN THE DRAWINGS AND FIELD CONDITIONS, THE ENGINEER AND THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
3. FIELD SURVEY COMPLETED OCTOBER 26, 1999, BY DANIEL J. KAGIETT, TEXAS RPLS # 4242, OF CNL CONCEPTS, INC.

GENERAL NOTES

1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT, THE SOILS REPORT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS.
3. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES ETC.
4. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-698. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE OR 2% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
5. THE BOUNDARY/TOPO SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
6. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
7. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
8. WATER SERVICE LINE SHALL BE COPPER TYPE K, DIAMETER SHALL BE AS NOTED ON THESE PLANS AND SHALL BE INSTALLED WITH 24" MINIMUM COVER OR BELOW FROSTLINE WHICH EVER IS GREATER. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.

CONSTRUCTION KEYNOTES

1. LOT PAVING PER PAVING SPECIFICATION THIS SHEET.
2. 8" THICK CONCRETE, 4000 PSI W/83 BARS @ 18" O.C.E.W.
3. 6" CONCRETE CURB AND GUTTER ON PROP. PAVEMENT PER DETAIL SHEET C-5.
4. 6" CONCRETE CURB ON PROP. PAVEMENT. (ALTERNATE TO BE DETERMINED BY OWNER.)
5. HANDICAP RAMP PER ADA, SLOPE 1/4" DETECTABLE WARNING MATERIAL FULL WIDTH OF RAMP & MAX. SLOPE 1:12 PER DETAIL SHEET C-5.
6. CONSTRUCT P.C.C. SIDEWALK RAMP PER DETAIL SHEET C-5.
7. 4" THICK 4000 PSI BROOM FINISHED CONCRETE SIDEWALK PER DETAIL SHEET C-5.
8. CONSTRUCT 1" THICK 4000 PSI CONCRETE PAD W/83 BARS @ 18" O.C.E.W.
9. NOT USED
10. DETECTOR LOOP PER DETAIL SHEET C-4.
11. INSTALL GUARD POST PER DETAIL SHEET C-4.
12. CONSTRUCT WHEEL STOPS PER DETAIL SHEET C-5.
13. PAINTED TRAFFIC ARROWS PER DETAIL SHEET C-5.
14. PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY PER DETAIL SHEET C-4.
15. LANDSCAPE AREA, REFER TO LANDSCAPE PLANS FOR DETAIL.
16. 4" WIDE WHITE PAINTED LOT STRIPING (TYPICAL).
17. ABRASIVE TILE ENTRY (5' W), DOORS TO HAVE 1/2" MAX. THRESHOLD PER ADA.
18. PEDESTRIAN SAFETY HANDRAIL (2" x 3" HIGH, PAINTED YELLOW)
19. 1000 GALLON GREASE TRAP PER DETAIL SHEET C-4.
20. CONSTRUCT DRIVEWAY PER DETAIL SHEET C-5.
21. SAWCUT EXISTING PAVEMENT, TIE IN PROPOSED PAVEMENT.
22. INSTALL OUTDOOR LIGHTING, REFER TO SITE LIGHTING THIS SHEET AND SHEET C-4.
23. PRIORITY PICKUP (PAINTED STRIPE, 6" WIDE, 10' LONG).
24. 8" WIDE PAINT STRIPE (WHITE)
25. CURB HOUSING, SEE DETAIL SHEET C-5
26. CONCRETE FLUME

LEGEND

- EXISTING
- TC = TOP OF CURB
 - TP = TOP OF PAVEMENT
 - PP = POWER POLE
 - LP = LIGHT POLE
 - GM = GAS METER
 - WM = WATER METER
 - FL = FLOW LINE
 - C/D = CLEAN OUT
 - NH = MANHOLE
 - RCP = REINFORCED CONCRETE PIPE
 - SAN SWR = SANITARY SEWER
 - STM SWR = STORM SEWER
 - WV = WATER VALVE
 - TBM = TEMPORARY BENCHMARK
 - G = GUTTER
 - CONC = CONCRETE
 - PVMT = PAVEMENT
 - L.S. = LIGHT STANDARD
 - G.V. = GUY WIRE
 - U.E. = UTILITY EASEMENT
 - B.L. = BUILDING LINE
 - N = NORTH
 - S = SOUTH
 - E = EAST
 - W = WEST
 - EP = EDGE OF PAVEMENT
 - FP = FLAG POLE

SIGN SCHEDULE		
SYM.	QTY.	DESCRIPTION
(A)	0	ROAD SIGN (SIZE & HEIGHT DETERMINED BY McDONALD'S) EXISTING
(B)	1	WELCOME INSERT 90-5A
(C)	0	THANK YOU INSERT 90-5A
(D)	0	EXIT ONLY
(E)	0	DRIVE THRU SIGN 90-5A
(F)	1	HEIGHT DETECTOR
(G)	1	ORDER BOARD
(H)	0	PREVIEW BOARD
(I)	1	CUSTOMER ORDER DISPLAY
(J)	2	HANDICAPPED PARKING SIGN BY G.C.
(K)	1	HANDICAP PARKING SIGN WITH VAN ACCESSIBLE APPENDAGE BELOW BY G.C.

PARKING ANALYSIS

825 VILLA MARIA

EXISTING INDOOR DINING AREA SEATING = 1510 S.F.

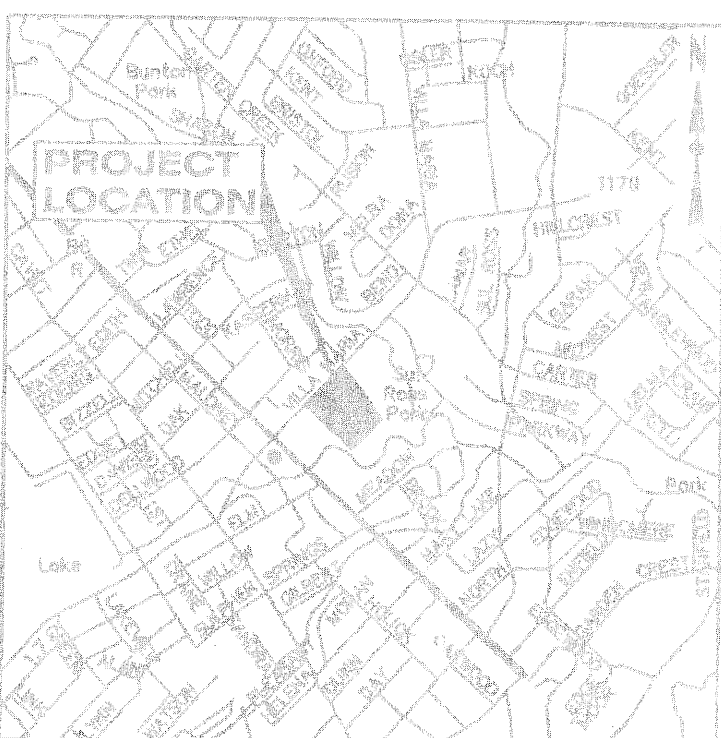
EXISTING OUTDOOR DINING AREA SEATING = 300 S.F.

TOTAL DINING SEATING (1510 S.F. @ 1/50) = 37 REQ'D SPACES

EMPLOYEE PARKING (1510 S.F. @ 1/50) = 8 REQ'D SPACES

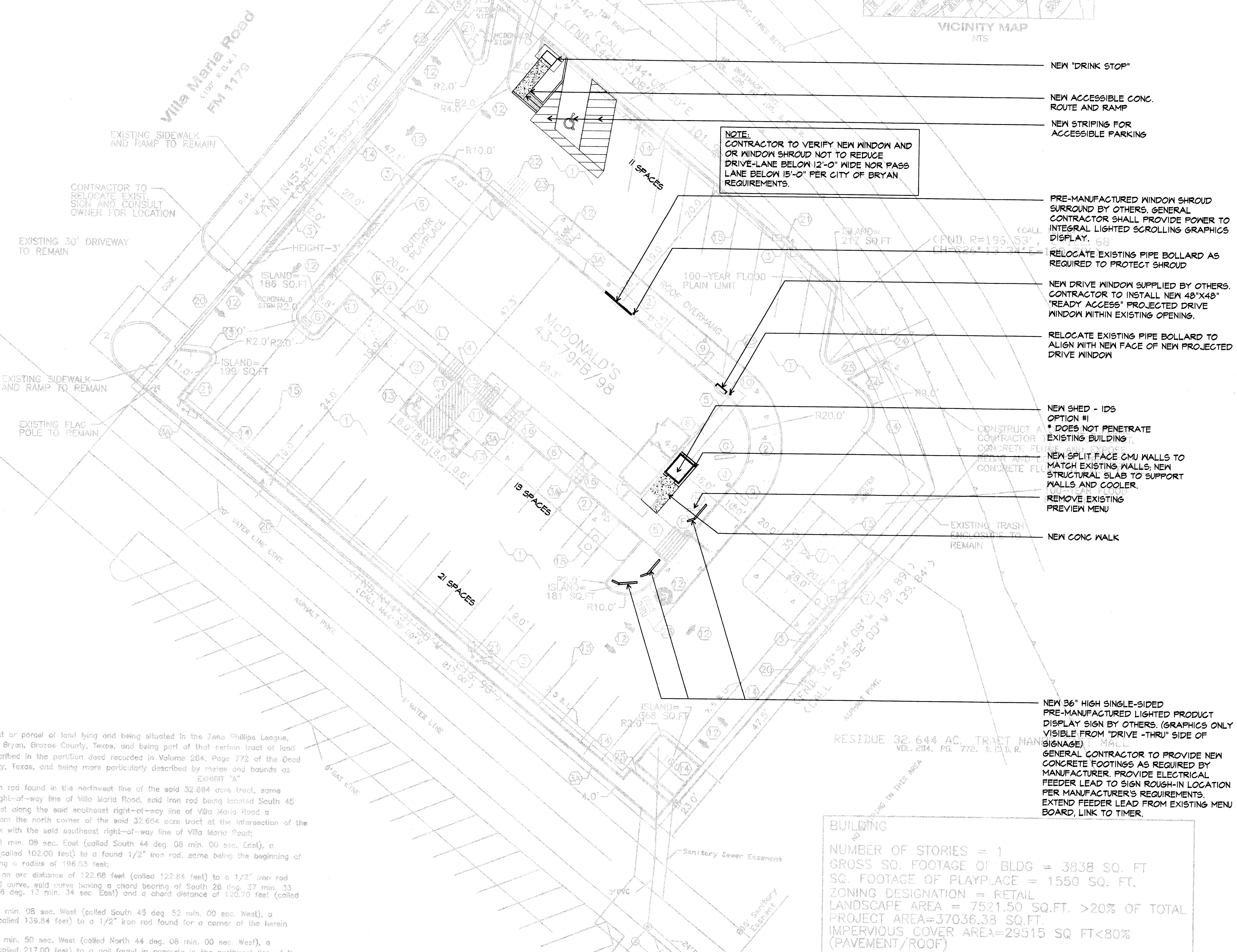
TOTAL REQUIRED PARKING = 45 SPACES

PARKING PROVIDED = 45 SPACES



VICINITY MAP

SCALE 1"=20'



NOTE: ALL DIMENSION ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

BENCHMARK:

CITY OF BRYAN BENCHMARK GPS-50 BRASS DISK SET IN CONCRETE

ELEVATION = 315.23, 1987.

TBM:

"X" IN CONCRETE APPROX. 35' FROM CENTER OF DITCH ON VILLA MARIA DRIVE ON SIDEWALK.

ELEVATION = 294.36

F.I.R.M.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP NO. 48002-0141-C, DATED JULY 2, 1992, THE SUBJECT PROPERTY LIES PARTIALLY WITHIN ZONE "X", AREAS OF 500 YEAR FLOOD, AREA OF 100 YEAR FLOOD AVERAGE DEPTHS OF LESS THAN 1' OR WITH DRAINAGE AREAS LESS THAN 1 SQ. MILE AND AREAS PROTECTED BY LEVEES FROM 100 YEAR FLOOD AND PARTIALLY WITHIN ZONE AE AN AREA OF 100 YEAR FLOOD.

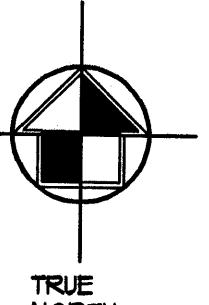
MINIMUM FLOOD ELEVATION=282.00 (PER CIVIL CONCEPT)

SP06-02

Received

FEB 2 7 2006

Development & Engineering Services



1" = 20'



ALL INFORMATION SHOWN IS EXISTING UNLESS NOTED OTHERWISE

Revisions		
No.	Date	Description
THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY FOR THE FOLLOWING PROJECT:		
McDONALD'S 825 VILLA MARIA		
THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE APPROVAL AND PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS PROHIBITED.		
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BEVERAGE SERVICE UPGRADES FOR

McDONALD'S RESTAURANT

825 VILLA MARIA RD.

BRYAN, TEXAS

NATIONAL # 04396

STATE SITE # 42-0788

Castles Design Group

A Texas Corporation

3801 Kirby Dr., Suite 600

Houston, Texas 77098

tel: 713 664 7974

fax: 713 664 9756



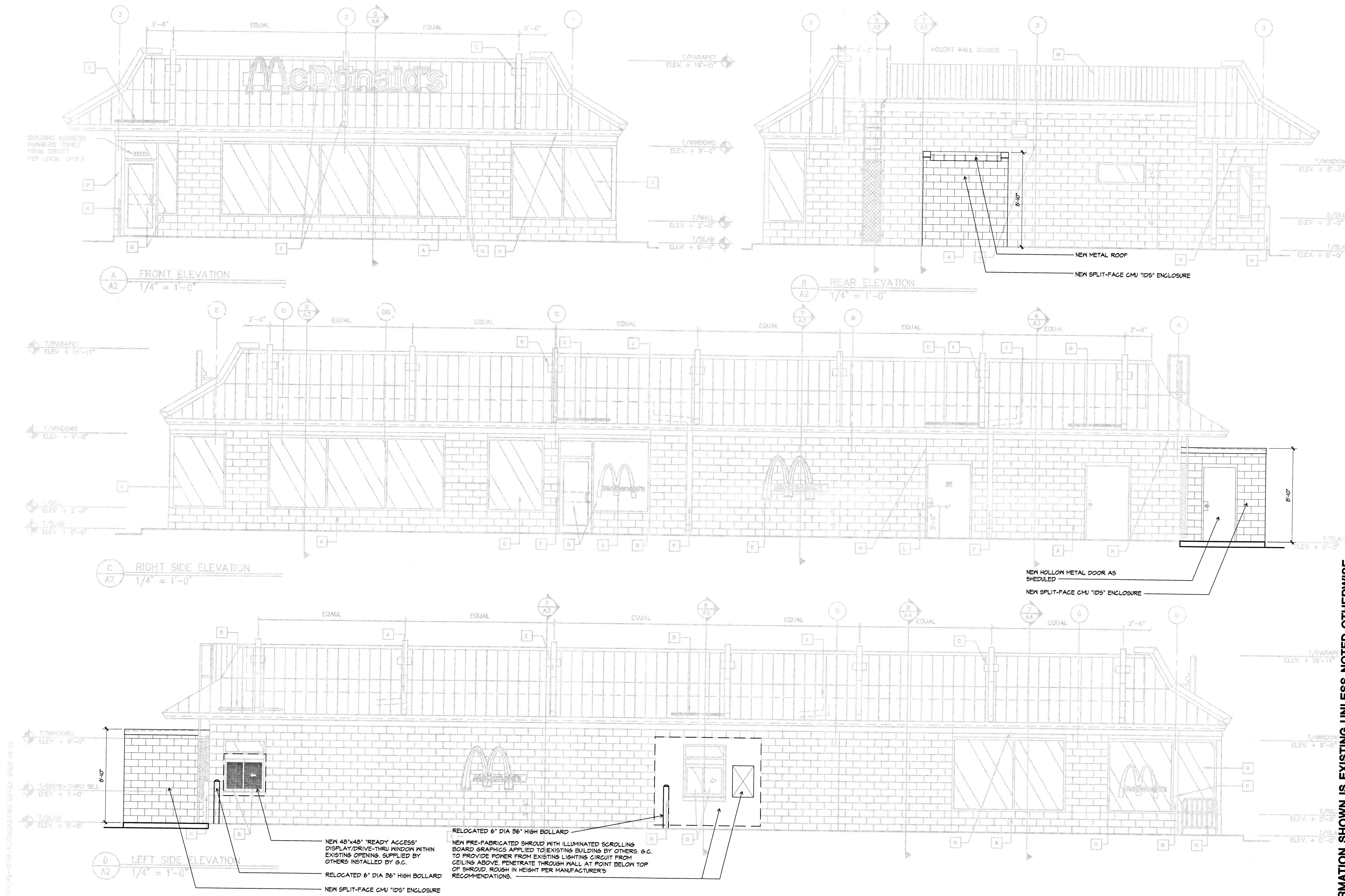
EXISTING SITE PLAN

A1

Date: 02-27-06

Project No. : 0601-28

EXISTING SITE PLAN



EXISTING ELEVATIONS

1/4" = 1'-0"

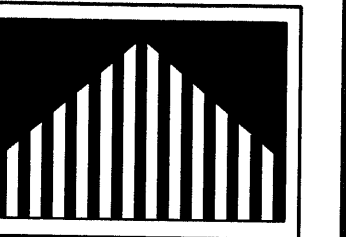
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Revisions

No.	Date	Description
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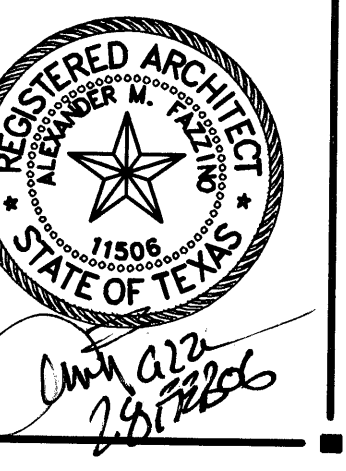
THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY FOR THE FOLLOWING PROJECT:
McDONALD'S
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BEVERAGE SERVICE UPGRADES FOR
McDONALD'S RESTAURANT
BRYAN, TEXAS
825 VILLA MARIA RD.
STATE SITE # 42-0788
NATIONAL # 04336



Castles Design Group

A Texas Corporation
3801 Kirby Dr., Suite 600
Houston, Texas 77098
tel: 713 664 7974
fax: 713 664 9756



EXISTING ELEVATIONS
&
DETAILS

A3

Date: 02-27-06

Project No. : 0601-28

ALL INFORMATION SHOWN IS EXISTING UNLESS NOTED OTHERWISE

LEGEND

---	PROPERTY BOUNDARY
---	LAY OF HOSE
---	R.O.W. EASEMENT-BOUNDARY
---	EXIST. SAN. SEW. LINE
---	PROP. WATER LINE (W.L.)
---	AERIAL ELECTRIC
---	PROP. FENCE
---	EXIST. FENCE
---	PROP. STM. SEW. LINE
---	EXIST. CONTOURS OF ELEV.
---	PROP. CONTOURS OF ELEV.
---	TELEPHONE POLE & MANHOLE
---	WATER VALVE
---	FIRE HYDRANT (FH)
---	SAN. SEW. MANHOLE (MH)
---	STM. SEW. MANHOLE
---	WATER METER (WM)

ABBREVIATIONS

PCC	PORTLAND CEMENT CONCRETE
HMAC	HOT MIX ASPHALT CONCRETE
PUE	PUBLIC UTILITY EASEMENT
D/W	DRIVEWAY
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT

PARKING

OFF-STREET PARKING REQUIREMENTS

A. TOTAL NUMBER OF PARKING SPACES

BUILDING TYPE OR USE	APPROXIMATE NUMBER OF STUDENTS	UNIT PARKING REQUIREMENTS parking space per student	EXTENDED NUMBER OF REQUIRED PARKING SPACES ¹
MIDDLE SCHOOL	~ 880	1 space / 15 students	59

TOTAL NUMBER OF PARKING SPACES REQUIRED: 59
TOTAL NUMBER OF PARKING SPACES PROVIDED: 194

B. HANDICAPPED PARKING ANALYSIS

1. REQUIRED NUMBER OF ACCESSIBLE SPACES

TOTAL PARKING SPACES PROVIDED	MINIMUM TOTAL NUMBER OF ACCESSIBLE SPACES REQUIRED	NUMBER OF ACCESSIBLE SPACES REQUIRED TO BE VAN ACCESSIBLE
1-25	1	1
26-50	2	1
51-75	3	1
76-100	4	1
101-150	5	1
151-200	6	1

FOR 200 SPACES PROVIDED, 6 ACCESSIBLE SPACES ARE REQUIRED, ONE OF WHICH MUST BE VAN ACCESSIBLE

2. ACCESSIBLE SPACES PROVIDED

CATEGORY	PROVIDED	REQUIRED	COMMENT
GENERAL ACCESSIBLE	8	6	2 EXTRA
VAN ACCESSIBLE	5	1	4 EXTRA

PARKING NOTES:

1. CALCULATED NUMBER OF PARKING SPACES ROUNDED OFF TO NEAREST WHOLE NUMBER.

NOTES:

1. NO PORTION OF THE PROPERTY LIES WITHIN THE 100-YEAR FLOOD PLAIN
2. PROPERTY IS ZONED COMMERCIAL (C)
3. BUILDING SETBACK DISTANCES FOR COMMERCIAL:
FRONT: 25'
SIDE: 7.5'
ARTERIAL SIDE STREET: 25'
SIDE STREET: 15'
REAR SETBACK: 7.5'

LOCATION OF PROPERTY:
N. Texas Ave. Near State Highway 6

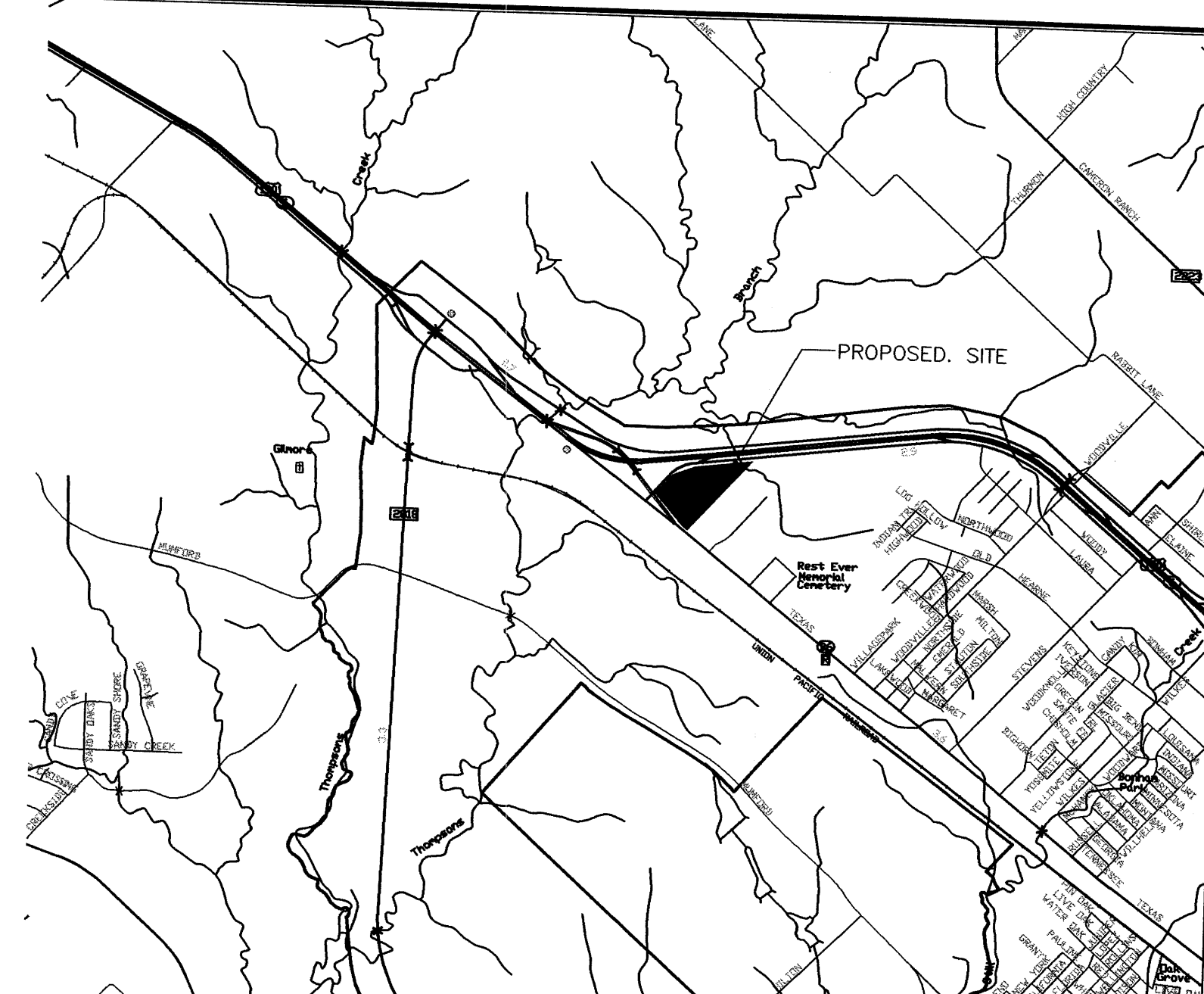
LEGAL DESCRIPTION OF PROPERTY:
M. D. Wheeler, Ltd.
30.36 Acre Tract
Moses Baine Survey, A-3
Volume 5703, Page 122

OWNER / DEVELOPER:
Bryan Independent School District
101 N. Texas Ave.
Bryan, Texas 77803

ARCHITECT:
Bay Architects
18201 Gulf Freeway
Houston, Texas 77289

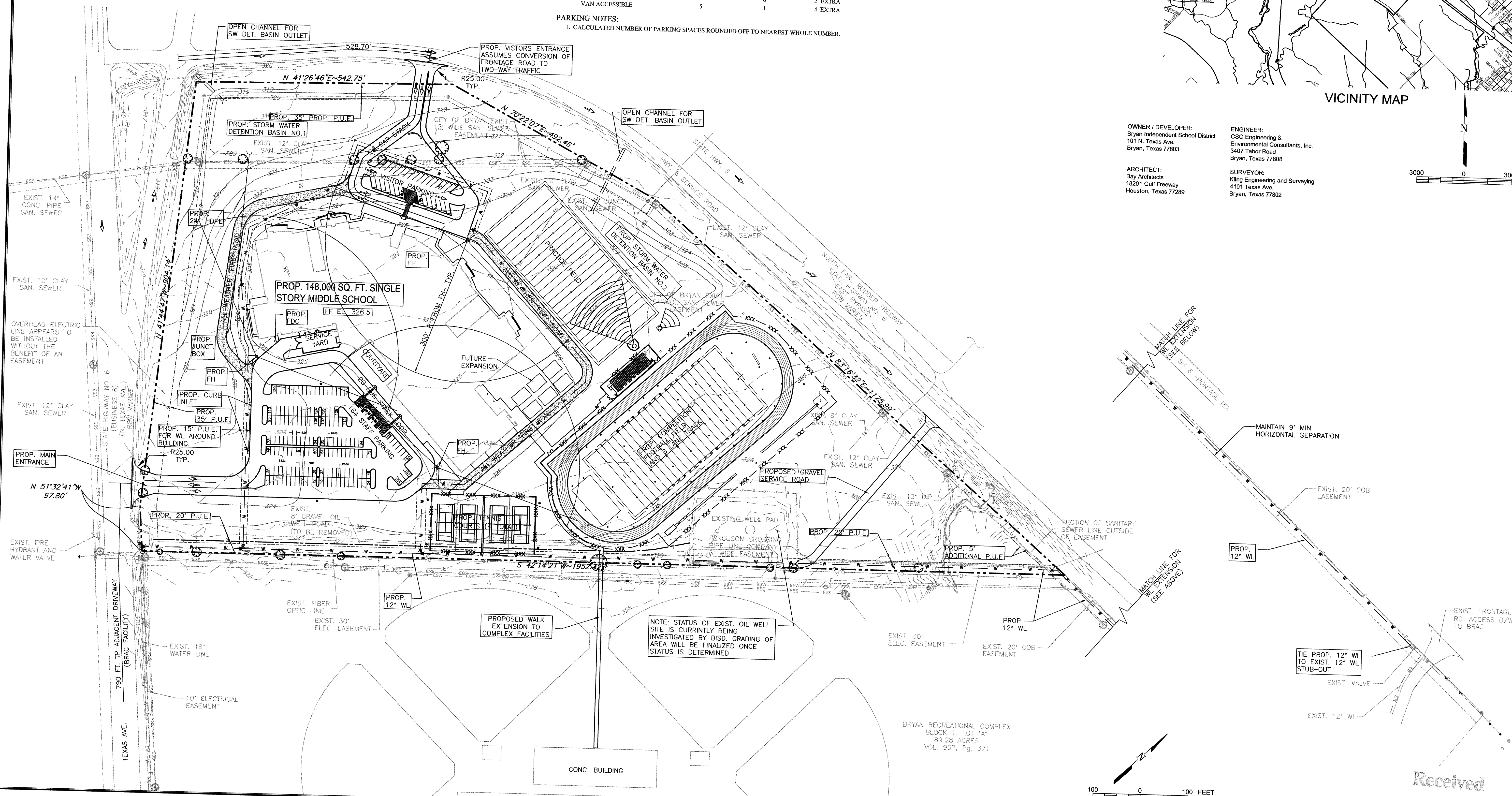
ENGINEER:
CSC Engineering &
Environmental Consultants, Inc.
3407 Tabor Road
Bryan, Texas 77808

SURVEYOR:
King Engineering and Surveying
4101 Texas Ave.
Bryan, Texas 77802



VICINITY MAP

3000 0 3000 FEET



DRAWING STATUS	REV	DATE	DETAILS
PREPARED			
CHECKED			
DESIGNED			
ENGINEER			
SURVEYOR			
IN CHARGE			

SITE PLAN
ARTHUR DAVILA MIDDLE SCHOOL
BRYAN I.S.D.
BRYAN, TEXAS

PROJ. NO.: 205167-100	DRAWN BY: AEA
DATE: 03/01/06	SCALE: AS SHOWN
APPR: MFC	DRAWING: SP-1

Received
MAR 1 2006
Development & Engineering

SP00-12

LANDSCAPING

LANDSCAPING REQUIREMENTS

1. REQUIRED LANDSCAPING "AREA" = 15% OF THE DEVELOPED AREA = 0.15 x 736,562 sq. ft. = 110,485 sq. ft.			
THE DEVELOPED AREA WAS CONSIDERED TO BE THE PROPOSED MIDDLE SCHOOL BUILDING STRUCTURE (148,000 sq. ft.) AND THE SURROUNDING SIDEWALKS AND PAVED AREAS (INCLUDING THE ACCESS DRIVE AND PARKING AREAS (588,562 sq. ft.).			
2. PROVIDED LANDSCAPING			
TYPES OF LANDSCAPE PLANTINGS	NUMBER OF LANDSCAPED UNITS	GRANTED SQUARE FOOTAGE OF COVERAGE	CALCULATED EXTENDED COVERAGE AREA CREDITED
EXIST. LARGE CANOPY TREES	61	225 sq ft	13,725 sq ft
LARGE CANOPY TREES ¹	158	350 sq ft	55,300 sq ft
LARGE NON-CANOPY TREES ²	136	225 sq ft	30,600 sq ft
GRASS AREAS ³	1105 sq ft	10 sq ft	11,050 sq ft
TOTALS			110,675 sq ft

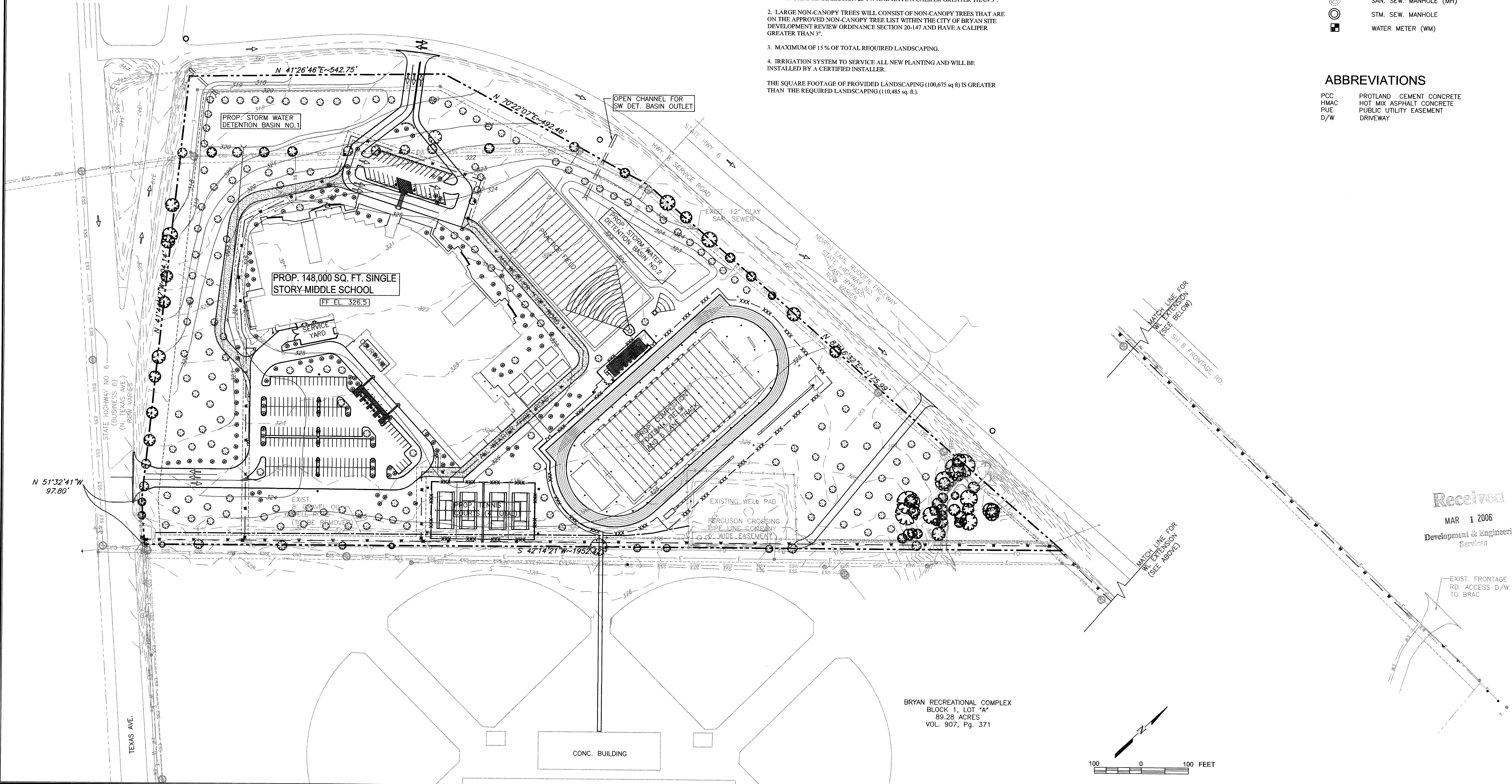
- LANDSCAPING NOTES:
1. LARGE CANOPY TREES WILL CONSIST OF CANOPY TREES THAT ARE ON THE APPROVED CANOPY TREE LIST WITHIN THE CITY OF BRYAN SITE DEVELOPMENT REVIEW ORDINANCE SECTION 20-147 AND HAVE A CALIPER GREATER THAN 3".
 2. LARGE NON-CANOPY TREES WILL CONSIST OF NON-CANOPY TREES THAT ARE ON THE APPROVED NON-CANOPY TREE LIST WITHIN THE CITY OF BRYAN SITE DEVELOPMENT REVIEW ORDINANCE SECTION 20-147 AND HAVE A CALIPER GREATER THAN 3".
 3. MAXIMUM OF 15 % OF TOTAL REQUIRED LANDSCAPING.
 4. IRRIGATION SYSTEM TO SERVICE ALL NEW PLANTING AND WILL BE INSTALLED BY A CERTIFIED INSTALLER.
- THE SQUARE FOOTAGE OF PROVIDED LANDSCAPING (110,675 sq ft) IS GREATER THAN THE REQUIRED LANDSCAPING (110,485 sq. ft.).

LEGEND

- EXIST. TREE TO BE REMOVED
- EXIST. LARGE CANOPY TREE
- PROP. LARGE CANOPY TREE
- PROP. LARGE NON-CANOPY TREE
- PROPERTY BOUNDARY
- EXIST. SAN. SEW. LINE
- PROP. WATER LINE (W.L.)
- AERIAL ELECTRIC
- PROP. FENCE
- EXIST. FENCE
- PROP. STM. SEW. LINE
- EXIST. CONT.
- PROP. CONTOURS
- TELEPHONE POLE & MANHOLE
- WATER VALVE
- FIRE HYDRANT (FH)
- SAN. SEW. MANHOLE (MH)
- STM. SEW. MANHOLE
- WATER METER (WM)

ABBREVIATIONS

- PCC PROTLAND CEMENT CONCRETE
- HM/C HOT MIX ASPHALT CONCRETE
- PUE PUBLIC UTILITY EASEMENT
- D/W DRIVEWAY



REV. DATE DETAILS

DRAWING STATUS

FOR REVIEW

FOR CONSTRUCTION

LANDSCAPE PLAN

ARTHUR DAVILA MIDDLE SCHOOL

BRYAN I.S.D.

BRYAN, TEXAS

Received

MAR 1 2006

Development & Engineering Services

Engineering & Environmental Consultants, Inc.

C S C

SHEET TITLE:

LANDSCAPE PLAN

PROJ. NO.: 205167-100

DRAWN BY: AEA

DATE: 03/01/06

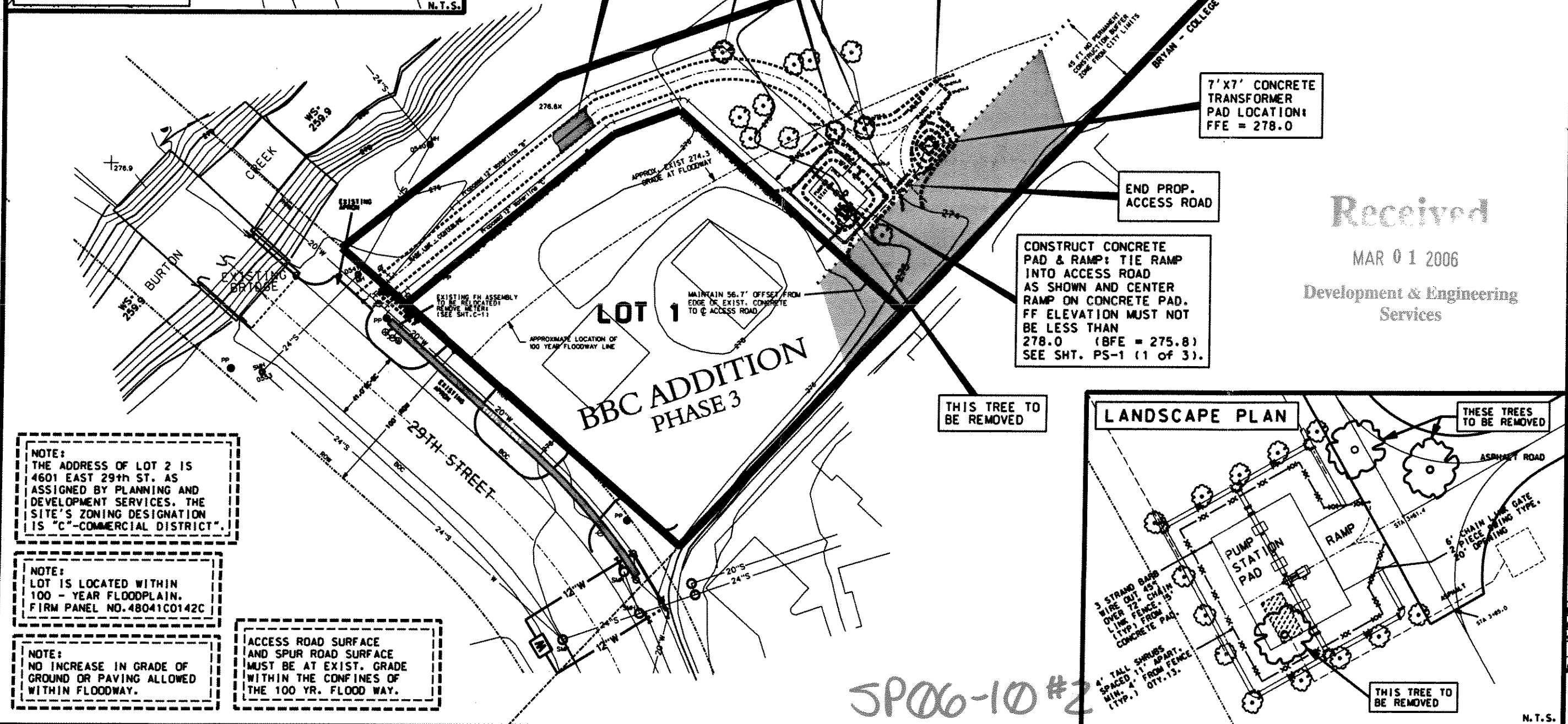
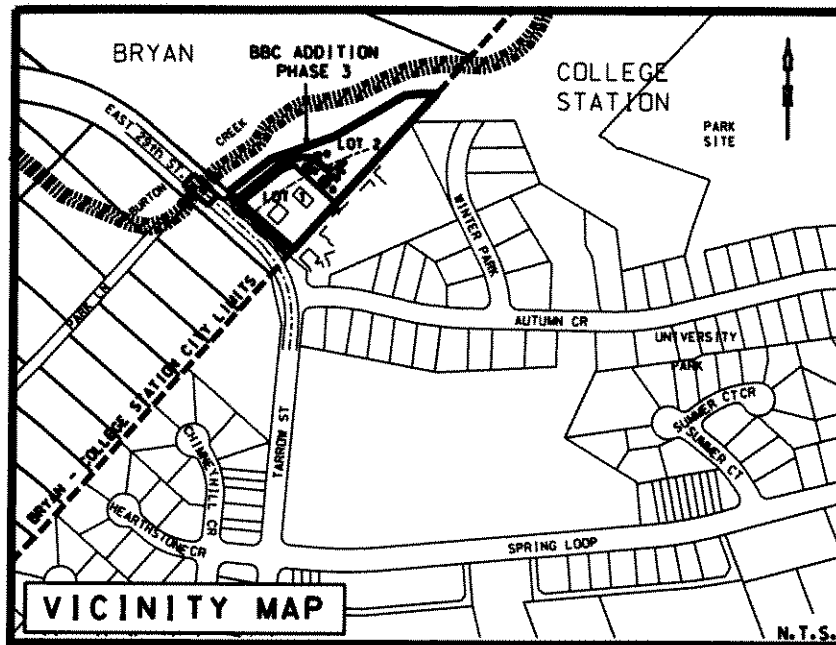
SCALE: AS SHOWN

APPR: MFC

DRAWING:

L-1

SP06-12



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BCS PUMPED WATER INTERCONNECT

CITY JOB NO. 611-D6-0321



CITY OF BRYAN
The Good Life, Texas Style™

BRYAN
COLLEGE STATION
INTERCONNECT
-SITE PLAN-
-LANDSCAPING PLAN-

DRAWN BY: J.A.S.
DATE: FEBRUARY 2006
SCALE: 1" = 30'H.

APPR: S.M.M.

SITE PLAN

SHEET 1 of 1

GENERAL NOTES PHASE I I

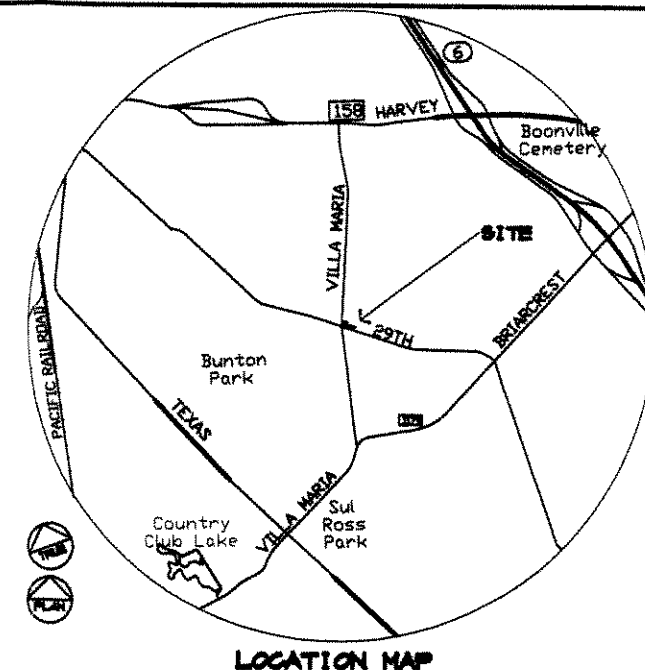
- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT & PROPER DISPOSAL OF ALL LIQUID & SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THE PROJECT SITE.
- 2) THIS SITE WILL HAVE ONLY "NORMAL DOMESTIC WASTEWATER"
- 3) TOTAL END ISLAND SF. FT. = 1,357 S. F. / 6 ISLANDS= 236 SQ. FT. EA.
- 4) SIDEWALK AND AMBULATORY RAMPS TO BE BUILT IN ACCORDANCE WITH "CITY OF BRYAN STANDARD SIDEWALK DETAILS" REF. CITY OF BRYAN SHT. SNI DETS. SNI-02 & SNI-00.

GENERAL NOTES FOR LUBE CENTER

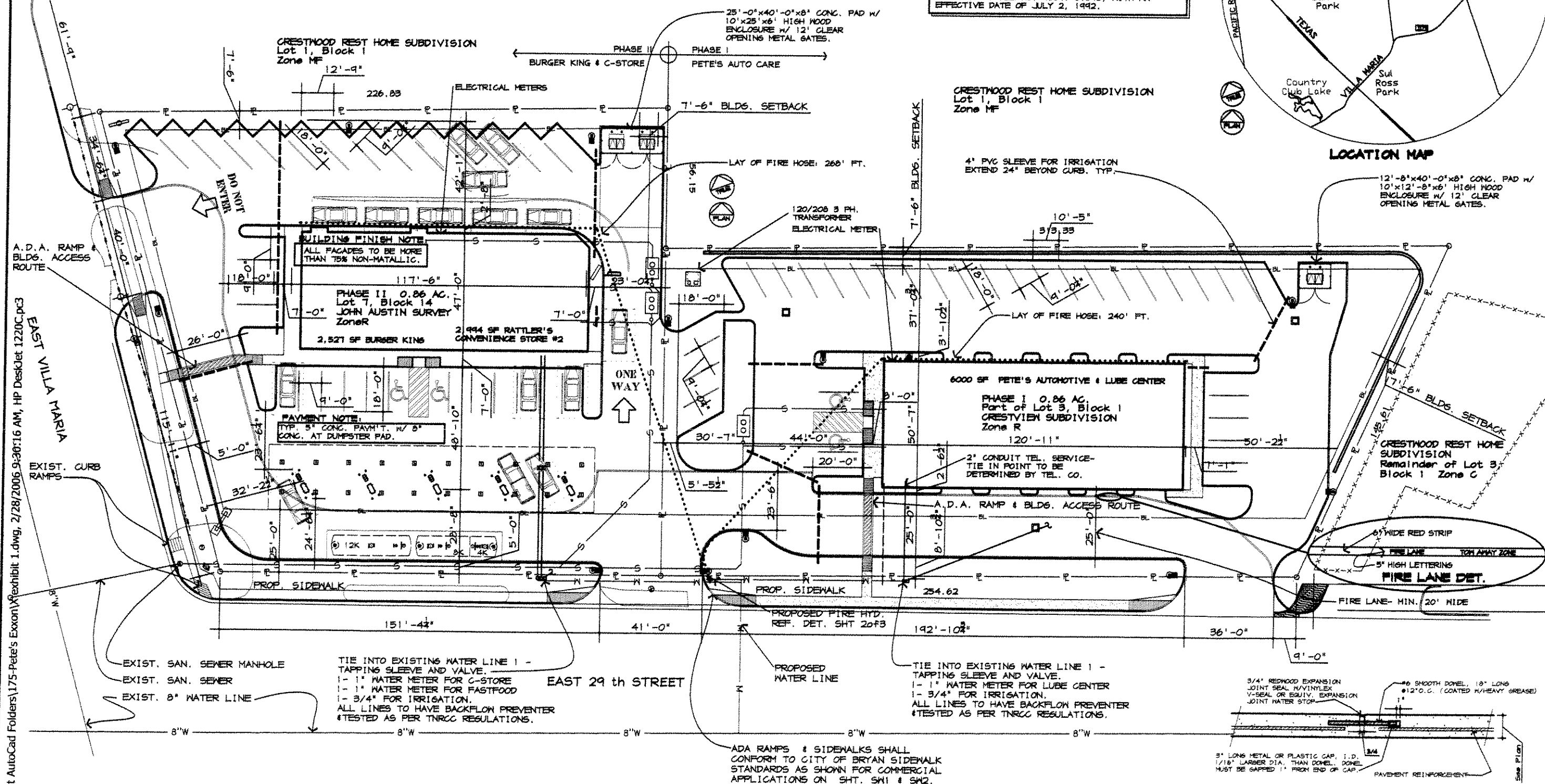
- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT & PROPER DISPOSAL OF ALL LIQUID & SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THE PROJECT SITE.
- 2) THIS SITE WILL HAVE ONLY "NORMAL DOMESTIC WASTEWATER"
- 3) THIS SITE SHALL HAVE THREE (3) TANKS.
- 1- 200 GALL. WASTE OIL IN BASEMENT
 - 1- 200 GALL. ANTIFREEZE IN BASEMENT
 - 1- 55 GALL. DRUM FOR OIL FILTERS LOCATED INSIDE THE SHOP AREA AT FLOOR LEVEL.

FLOODPLAIN NOTE

THIS SITE DOES NOT LIE WITHIN THE 100-YEAR FLOODPLAIN AS GRAPHICAL DEPICTED BY FEMA FIRM COMMUNITY PANEL NO. 48041 0134C, WITH AN EFFECTIVE DATE OF JULY 2, 1992.



LOCATION MAP



SITE PLAN

SP06-01 #3

CITY OF BRYAN TYPE 'G' CONSTRUCTION JOINT

NOTE: THIS DET. SHALL BE USED AT
PUBLIC UTILITY EMTS. LIMITS.

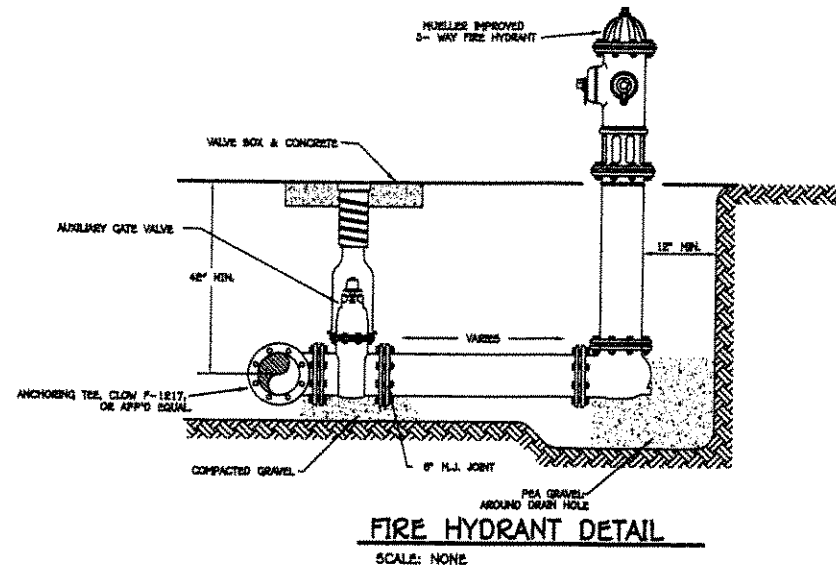
SCALE: 1"=40'

NAME & LOCATION: PETE'S AUTOMOTIVE @ N.E. CORNER OF 24th STREET & VILLA MARIA.
BLOCK & ZONE: LOT-3, BLOCK-1, CRESTVIEW SUBDIVISION, ZONED: "R"
OWNER: PETE KOUNTAKIS, COLLEGE STATION, TX. 779 774 1192
PLANNER: PREMIED DESIGNING 2403
DATE: 11-1-88

Premier • Designs
2402 Broadmoor Dr. Bryan, TX
979-776-2212

C:\Current AutoCad Folders\175-Pete's Exxon\X exhibit 2.dwg, 2/28/2006 9:31:01 AM, HP DesJet 1220C.pc3

EAST VILLA MARIA



FIRE HYDRANT DETAIL
SCALE: NONE

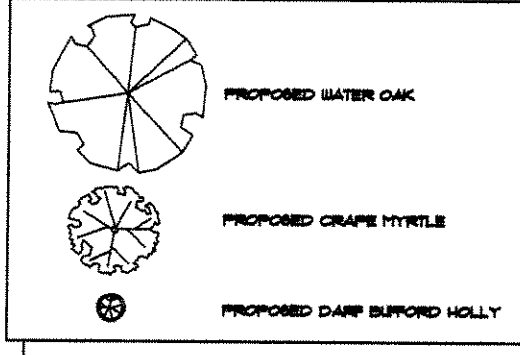
LANDSCAPE REQUIREMENTS

MIN. LANDSCAPE = 11,677 POINTS
LANDSCAPE AREA = 15% OF DEVELOPED AREA (77,844 S.F.) = 11,677 POINTS
MIN. NO. OF TREES = 50% OF (11,677) POINTS = 5,832 PTS.

PROPOSED LANDSCAPE

12 - MIN. 6' HIGH x 5.1' CAL. (CANOPY) TREES @ 350 POINTS =	4,200 POINTS
19 MIN. 6' HIGH x 1.5' CAL. (NON CANOPY) TREES @ 150 POINTS =	2,850 POINTS
TOTAL POINTS IN TREES	7,050 POINTS
12,901 S.F. OF SODDED AREA x 1/10 =	1,290 POINTS
343 FIVE GAL. SHRUBS MIN. 36" HIGH OR AS NOTED @ 10 POINTS =	3,400 POINTS
TOTAL	11,740 POINTS

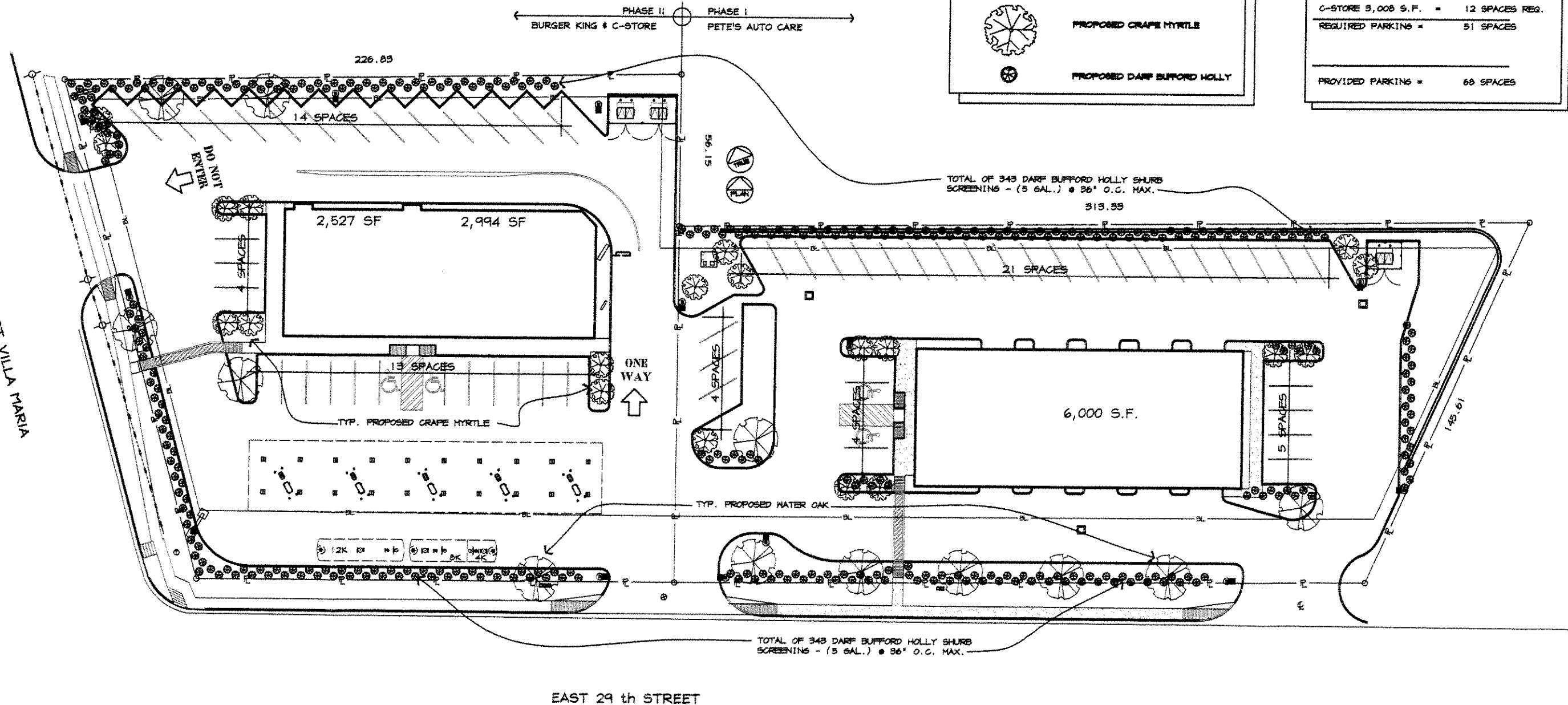
LANDSCAPE LEGEND



PARKING REQUIREMENTS

AUTO REPAIR, GARAGE OR SHOP = 1/200 GFA.	
FAST FOOD = 8+ 1/50 SEATS.	
C-STORE = 1/250 GFA	
LUBE CENTER 6,000 S.F.	
1/200 S.F. OF 6,000 =	9 SPACES REQ.
FAST FOOD 45 SEATS =	30 SPACES REQ.
C-STORE 3,008 S.F. =	12 SPACES REQ.
REQUIRED PARKING =	51 SPACES

PROVIDED PARKING = 68 SPACES



LANDSCAPE PLAN

SCALE: 1"=40'

NAME & LOCATION: PETE'S AUTOMOTIVE @ N.E. CORNER OF 29th STREET & VILLA MARIA.
BLOCK & ZONE: LOT-3 BLOCK-1, CRESTVIEW SUBDIVISION, ZONED: "R" & LOT 7, BLOCK 14, JOHN AUSTIN SURVEY.
OWNER: PETE KOUNTAKIS, COLLEGE STATION, TX. 77744 1992
PLANNER: PREMIER DESIGNS 2402 BROADMOOR, BLDG. D-2, SUITE 101, BRYAN TX. 77802 979 776 2212. SUBMITTED: 28 FEBRUARY 2004

Premier • Designs
2402 Broadmoor Dr. Bryan, TX
979-776-2212

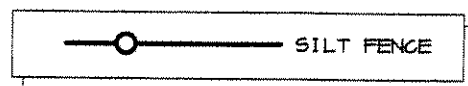
TEXAS STORM WATER POLLUTION PREVENTION PLAN

THIS PROJECT IS SUBJECT TO ENVIRONMENTAL PROTECTION AGENCY (EPA) TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEM (TPDES) CONSTRUCTION STORM WATER DISCHARGE REGULATIONS AND REQUIREMENTS. THE CONTRACTOR WILL BE REQUIRED TO EXECUTE A NOTICE OF INTENT AND IMPLEMENT THE POLLUTION PREVENTION PLAN INCLUDED IN THE CONTRACT DOCUMENTS AND COMPLY WITH ALL REPORTING AND INSPECTION REQUIREMENTS SET FORTH IN THE TPDES REGULATION.

CONSTRUCTION NOTES:

1. MIN. 2 INCH BY 2 INCH THICK WOODEN STAKES TO BE SET AT MAX SPACING OF 3 FEET AND EMBEDDED A MIN OF 18 INCHES IN SOIL. IF PRE ASSEMBLED FENCE WITH SUPPORT NETTING IS USED, SPACING OF POST MAY BE INCREASED TO 8 FEET MAX.
2. ATTACH FILTER FABRIC TO WOODEN STAKES. FILTER FABRIC FENCE SHALL HAVE A MIN HEIGHT OF 18 INCHES AND MAX HEIGHT OF 36 INCHES ABOVE NATURAL GROUND.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHOULD BE OVERLAPPED 6 INCHES AT THE POSTS, AND FOLDED.

LEGEND

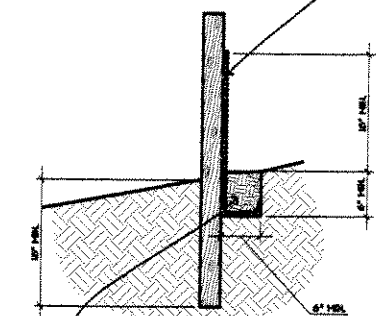


SILT FENCE

EROSION CONTROL NOTES

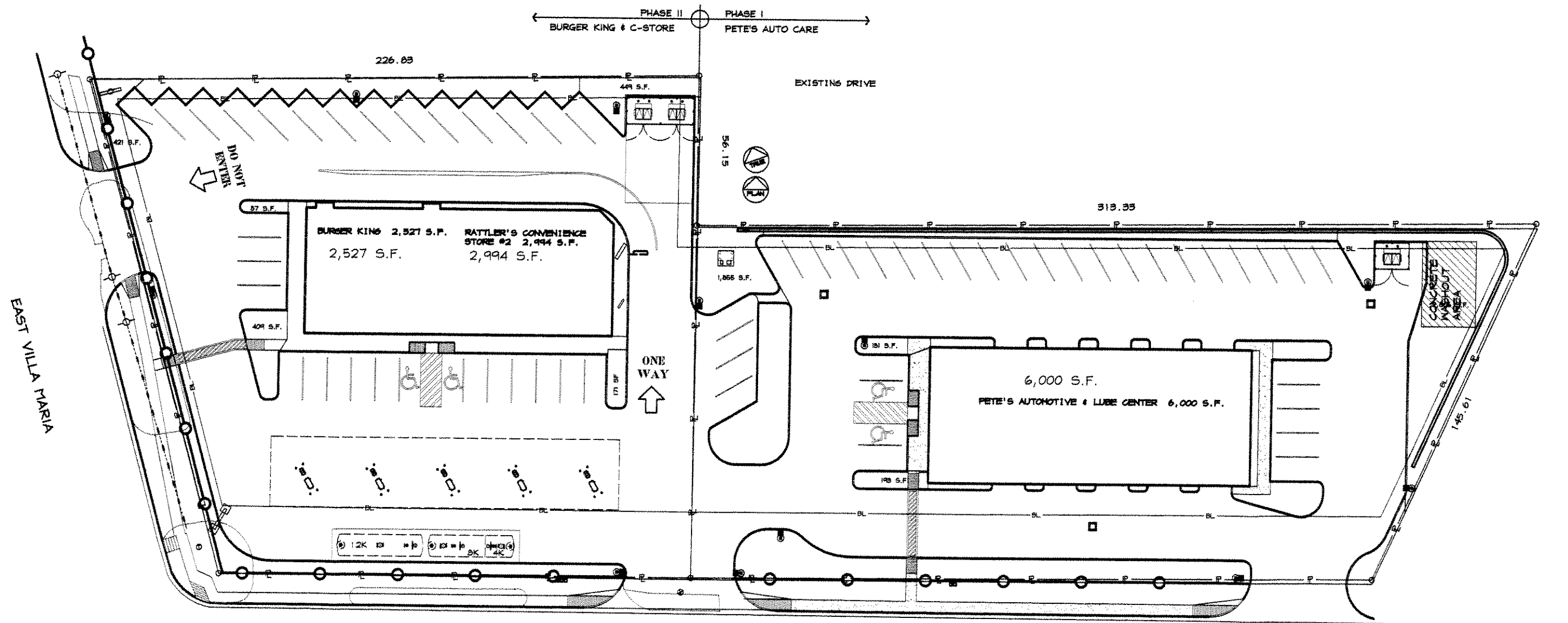
1. THE SITE SUPERINTENDENT, OR HIS REPRESENTATIVE, SHALL MAKE A VISUAL INSPECTION OF ALL SILTATION CONTROLS AND NEWLY STABILIZED AREAS ON A DAILY BASIS, ESPECIALLY AFTER A RAINFALL TO INSURE THAT ALL CONTROLS ARE MAINTAINED AND PROPERLY FUNCTIONING. ANY DAMAGED CONTROLS SHALL BE REPAIRED PRIOR TO THE END OF THE WORK DAY, INCLUDING RE-SEEDING AND MULCHING OR RE-SODDING IF NECESSARY.
2. ALL SEDIMENT TRAPPING DEVICES SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER THE AREA HAS BEEN DISTURBED. ALL SEDIMENT TRAPPING DEVICES SHALL BE CLEANED WHEN THE SEDIMENT LEVEL REACHES 25% CAPACITY. SEDIMENT SHALL BE DISPOSED OF BY SPREADING ON SITE OR HAULING AWAY IF NOT SUITABLE FOR FILL.
3. SEDIMENT FENCE, HAY BALE BARRIERS, OR OTHER SEDIMENT TRAPPING DEVICES SHALL CONTROL ALL STORM WATER LEAVING THE SITE. ALL FILL OR CUT AREAS SHALL BE HYDRO-MULCHED OR SODDED.
4. SILTATION CONTROL (BY USE OF SAND BAGS), WILL BE PROVIDED AT ALL STORM DRAIN INLETS ONCE THEY ARE ABLE TO CONVEY WATER. THE SILTATION CONTROL WILL BE REMOVED ONCE THE SITE HAS BEEN STABILIZED AND BEFORE THE ROAD IS OPEN TO THE PUBLIC.
5. THE CONTRACTOR IS RESPONSIBLE FOR FILING A NOTICE OF INTENT (NOI) WITH THE APPROPRIATE STATE AGENCY IN ORDER TO COMPLY WITH EPA REGULATIONS. SAID NOI MUST BE FILED TWO DAYS BEFORE CONSTRUCTION BEGINS.
6. THE CONTRACTOR IS RESPONSIBLE FOR FILING A NOTICE OF TERMINATION AT THE COMPLETION OF THE PROJECT.
7. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SEDIMENT CONTROL DEVICES AFTER THE SITE HAS BEEN STABILIZED AND SOD OR MULCH IN PLANTED AREAS HAS TAKEN ROOT.
8. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE THAT ALL DISTURBED AREAS ARE STABILIZED. THESE AREAS SHALL BE SEEDED, FERTILIZED, AND WATERED TO ESTABLISH A SOLID GROUND COVER WITHIN 90 DAYS OF COMPLETION, OR IF ACTIVITY CEASES FOR MORE THAN 14 DAYS. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE TO SPECIFICATION NO. 701 "SEEDING" OF THE CITY OF COLLEGE STATION STANDARD SPECIFICATIONS FOR STREET CONSTRUCTION.

SILT FENCE: *SILT STOP or APPROVED EQ. MIN. 24" WIDTH.



BURY TOE OF SILT FENCE 6" BELOW (AS SHOWN) & COMPACT TRENCH BACK FILL TO PREVENT "WASHOUT".

SILT FENCE DET.



POLLUTION PREVENTION PLAN

EAST 29th STREET

SCALE: 1"=40'

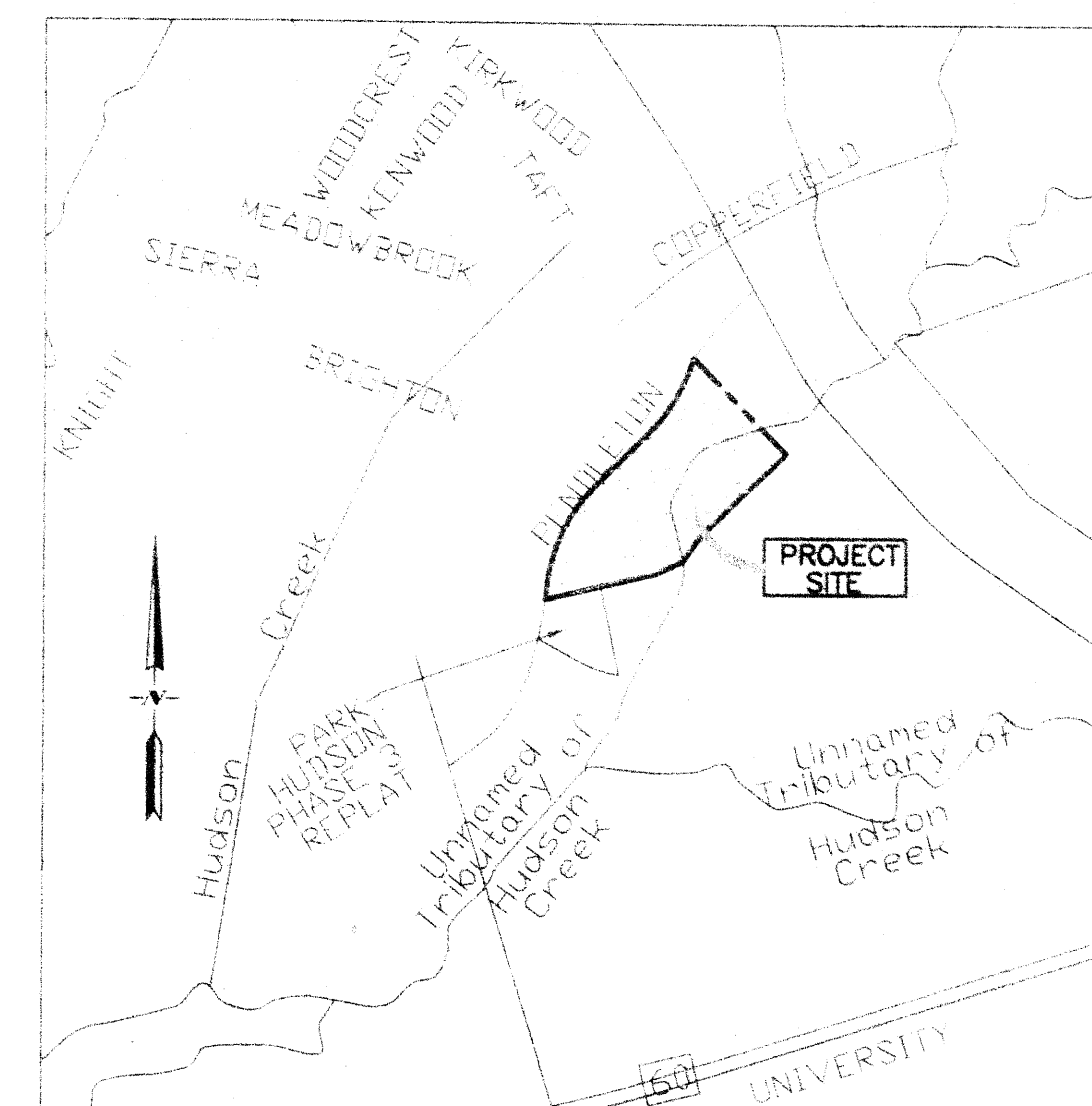
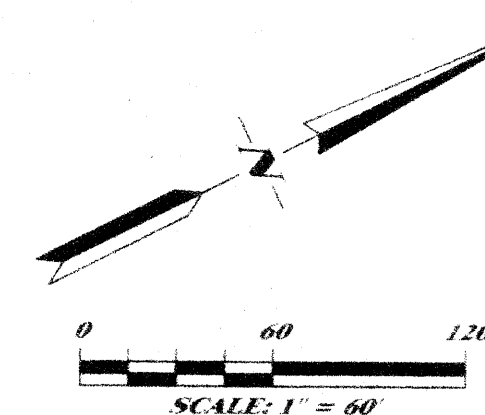
NAME & LOCATION: PETE'S AUTOMOTIVE @ N.E. CORNER OF 29th STREET & VILLA MARIA.
BLOCK & ZONE: LOT-3, BLOCK-1, CRESTVIEW SUBDIVISION, ZONED: "R" & AND LOT 7, BLOCK 14, JOHN AUSTIN SURVEY.
OWNER: PETE KOUNTAKIS, COLLEGE STATION, TX. 77744 1192
PLANNER: PREMIER DESIGNS 2402 BROADMOOR, BLDG. D-2, SUITE 101, BRYAN TX. 77802 979 776 2212. SUBMITTED: 28 FEBRUARY 2004

Premier • Designs
2402 Broadmoor Dr. Bryan, TX
979-776-2212

1. BASIS OF BEARINGS: THE PLAT OF PENDELTON DRIVE AS RECORDED IN VOLUME 4782, PAGE 132 OF THE OFFICIAL RECORDS OF BRAZOS COUNTY TEXAS, WHICH IS THE SAME BEARING SYSTEM AS THE PARK HUDSON DEVELOPMENT.
2. THIS TRACT DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN AS GRAPHICALLY DEPICTED ON F.E.M.A. FIRM COMMUNITY PANEL NO. 48041C0142 C, JULY 2, 1992, BUT PORTIONS OF THIS TRACT ARE SUBJECT TO THE CITY OF BRYAN'S FLOOD DETERMINATION AND FLOOD MANAGEMENT ORDINANCE.
3. THERE IS NO PROPOSED DETENTION ON-SITE. STORM WATER SHALL BE RELEASED DIRECTLY INTO CREEK.
4. THIS PROPERTY AND ALL IMMEDIATELY ADJACENT PROPERTY IS ZONED P.D. (PLANNED DEVELOPMENT).
5. BUILDING LINES SUBJECT TO CHANGE BASED ON FINAL PARCEL ARRANGEMENT AND PLAT REQUIREMENTS.
6. THE TOPOGRAPHIC INFORMATION DEPICTED ON PROPOSED LOT ONE IS THE RESULT OF A ON-GROUND SURVEY. THE REMAINDER IS BASED ON AERIAL PHOTOGRAPHY.
7. ALL SET MONUMENTS, IRON RODS STAMPED TAGGART, R.P.L.S. NO. 5676, UNLESS OTHERWISE NOTED.
8. ALL FOUND MONUMENTS ARE CAPPED 1/2" IRON RODS. K.R. McCULLURE R.P.L.S. NO. 5650 UNLESS OTHERWISE NOTED.

NOTE: REVISED "FLOODABLE AREA" LINE, SHOWN ON PROPOSED LOT ONE PROVIDED BY McCCLURE & BROWNE ENGINEERING/SURVEYING, INC. JULY 27, 2004 AND IS A GRAPHICAL APPROXIMATION ONLY. THE PORTION SHOWN ON LOT TWO IS BASED ON AERIAL PHOTOGRAPHY ONLY, PER McCCLURE & BROWNE ENGINEERING/SURVEYING, INC..

CURVE TABLE						
CURVE	RADIUS	DELTA	TANGENT	LENGTH	CHD. BRNG.	L.C.
C1	970.00'	39°50'36"	351.55'	674.54'	N 17°08'12" E	661.03'
C2	1030.00'	28°15'48"	259.32'	508.09'	N 22°55'37" E	502.95'



VICINITY MAP
N.T.S.

My K. Tapp
3 February
2006 A.D.

2551 TEXAS AVENUE, SOUTH, SUITE A
COLLEGE STATION, TX 77840

Ph: (979) 683-5359 EMAIL: mdgcstr@yahoo.com
Fx: (979) 683-4243

*ENGINEERS, SURVEYORS, PLANNERS
CONSULTANTS, MANAGERS*

INSTRUMENT OF PROFESSIONAL SERVICE AND IS
SINGLE-PHASE DEVELOPMENT PROGRAM AND MAY NOT BE
CONSIDERED A CONTRACT FOR DEVELOPMENT GROUP.
EXPIRY DATE AS OF PROJECT DATE.

MDG
MUNICIPAL
DEVELOPMENT
GROUP

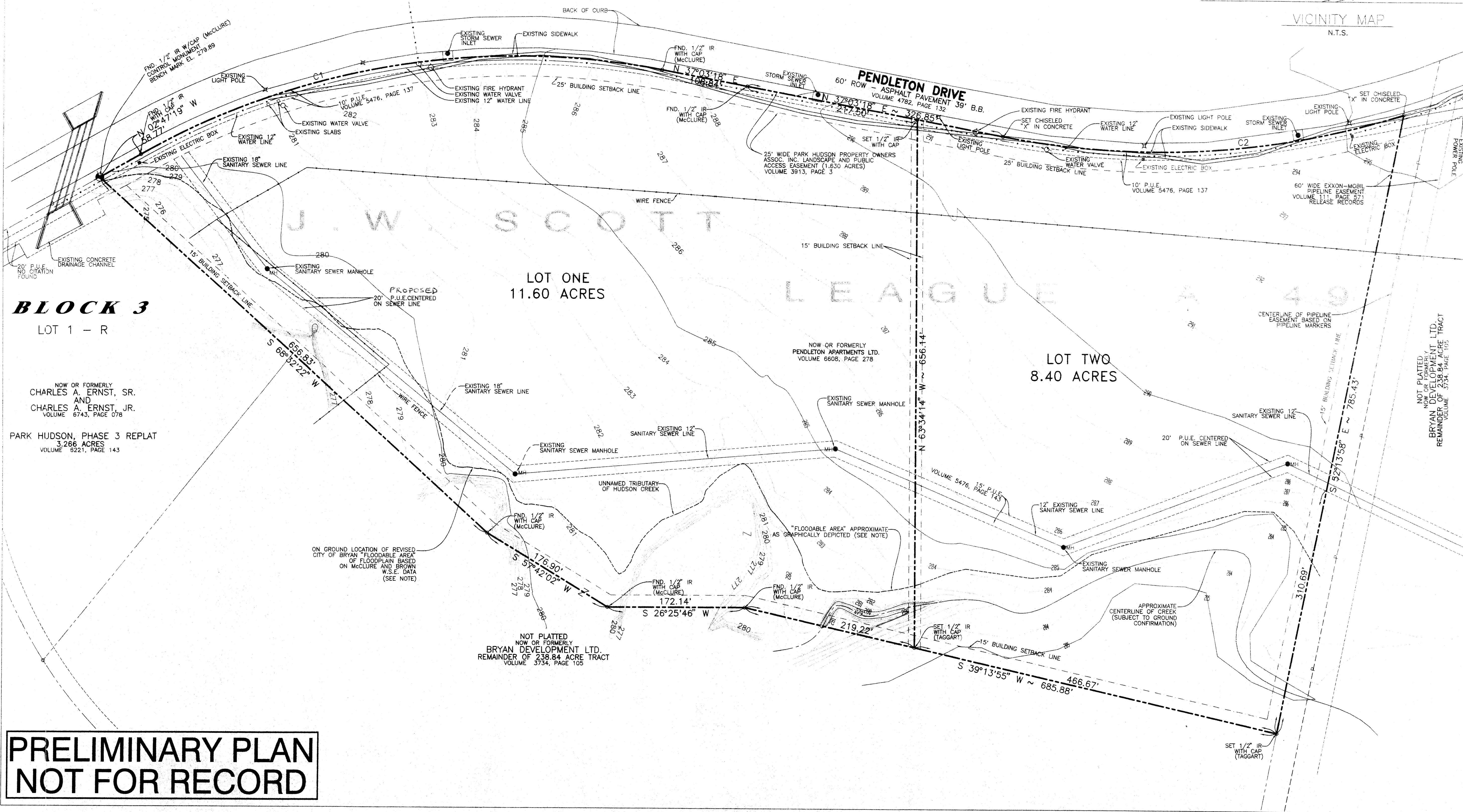
[illegible]

PRELIMINARY PLAN
OF
PENDLETON PLACE
LOT ONE AND LOT TWO
20.00 ACRES
VOLUME 6608 PAGE 278

J.W. SCOTT LEAGUE, A-49
BRYAN, BRAZOS COUNTY, TEXAS

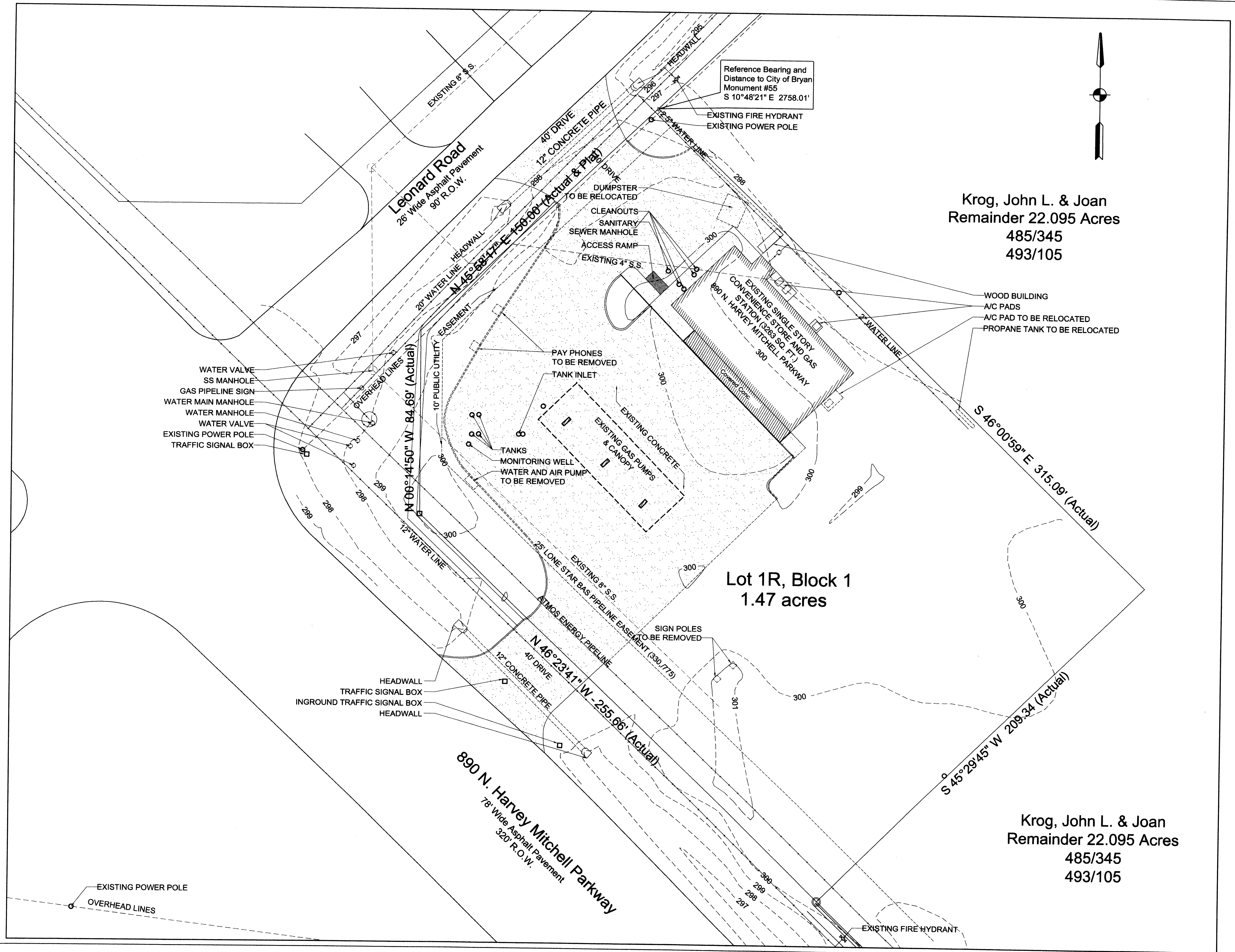
Received
FEB 24 2006
Development & Engineering
Services

MUNICIPAL DEVELOPMENT GROUP
FILE NUMBER
000034-3757
SHEET NO. 1



**PRELIMINARY PLAN
NOT FOR RECORD**

PP05-31 #2

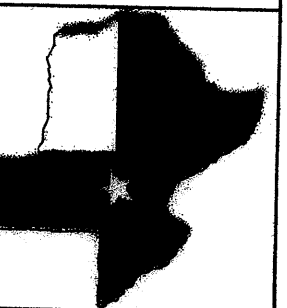


SHEET: S-1 OF FOUR	JTR-LAYOUT	01-05-06
	SEM-FINISHOUT	02-06-06
	SEM/JTR-CITY CHANGES	02-21-06
	DATE:	02-21-06

North Bryan Food Mart, Inc.
P.O. Box 4650
Bryan, TX 77805
(979) 575-4545

JOB# 05-140

NORTH BRYAN
FOOD MART
ADDITION & CARWASH



(979)-846-3366
4500 Carter Creek Dr. #203
Bryan, TX 77802
www.raidesigns.com

RAI
DRAFT
DESIGN
CONSULT

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SP06-06 #2

GENERAL NOTES:

1. THE DEVELOPER SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL UNDERGROUND CONDUIT FOR FEEDERS, LATERALS, & SERVICES WITHIN THE SUBDIVISION. THE OWNER SHALL PROVIDE A BLANKET EASEMENT DURING CONSTRUCTION UNTIL ALL PLATS ARE FILED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THE PROJECT SITE.
3. SIGNS TO BE PERMITTED SEPARATELY.
4. DEVELOPER INSTALLS CONDUIT PER CITY SPECS & DESIGNS.
5. DEVELOPER POURS TRANSFORMER PAD(S) PER CITY SPECS AND DESIGN.
6. DEVELOPER INSTALLS PULL BOXES AS PER CITY SPECS AND DESIGN. (PULL BOXES PROVIDED BY CITY)

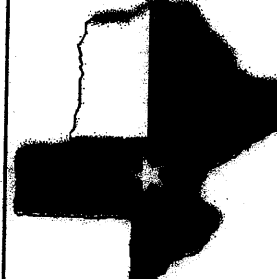
PARKING ANALYSIS

EXISTING STORE
3263 SQ.FT. @ 250/SQ.FT. = 13.052
NEW LAUNDROMAT
3160 SQ.FT. @ 200/SQ.FT. = 15.8
NEW CARWASH
3136 SQ.FT. @ 500/SQ.FT. = 6.272
TOTAL SPACES REQUIRED: 35.124 = 36

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**NORTH BRYAN
FOOD MART**
ADDITION & CARWASH

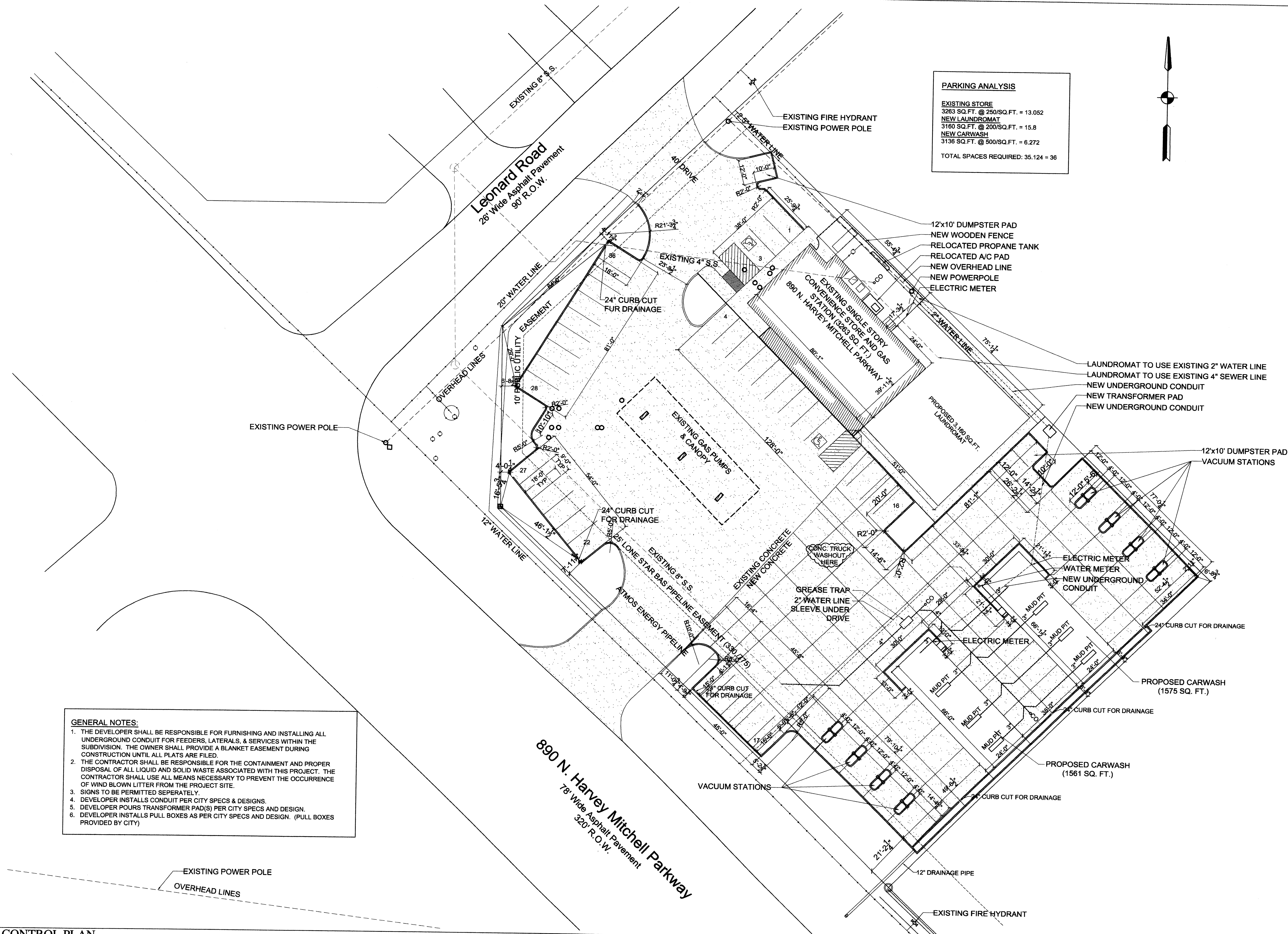
JOB# 05-140







North Bryan Food Mart, Inc.
P.O. Box 4650
Bryan, TX 77805
(979) 575-4545

JTR-LAYOUT	01-05-06
SEM-FINISHOUT	02-06-06
SEM/JTR-CITY CHANGES	02-21-06
SHEET	01-05-06
OF	FOUR
DATE	02-21-06

#2

SPEC-06



SYMBOL	COMMON NAME (SCIENTIFIC NAME)	DESCRIPTION	QTY.	VALUE	POINTS
	LIVE OAK (QUERCUS VIRGINIA)	CANOPY TREES > 1.5 CAL.	5	200	1000
	CEDAR ELM (ULMUS ALATA)	CANOPY TREES > 1.5 CAL.	8	200	1600
	REDBUD (CERCIS CANADENSIS)	NON-CANOPY TREES > 1.5 CAL.	9	150	1350
	MOUNTAIN LAUREL (SOPHORA SECUNDIFLORA)	NON-CANOPY TREES > 1.5 CAL.	8	150	1200
	BURFORD HOLLY (ILEX CORNUTA)	SHRUBS < 2 GAL.	100	5	500
	PLANTING BED		2855	1	2855

LANDSCAPING NOTES:

1. APPROVED IRRIGATION PLAN IS REQUIRED PRIOR TO C.O..
2. ALL PLANTINGS MUST BE IRRIGATED.
3. 100% GROUND COVER REQUIRED. DECORATIVE PAVING, DECORATIVE ROCK, OR PERENNIAL GRASS REQUIRED IN ALL LOT ISLANDS, SWALES, DRAINAGE AREAS, PARKING LOT SETBACKS, RIGHTS OF WAY, AND ALL ADJACENT PROPERTIES DISTURBED BY CONSTRUCTION.
4. IRRIGATION SYSTEM MUST BE PROTECTED BY EITHER A PRESSURE VACUUM BREAKER, A REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE, OR A DOUBLE-CHECK BACK FLOW DEVICE, AND INSTALLED AS PER CITY ORDINANCE 2394.
5. ALL BACKFLOW DEVICES MUST BE INSTALLED AND TESTED UPON INSTALLATION AS PER CITY ORDINANCE 2394.

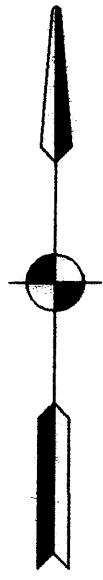
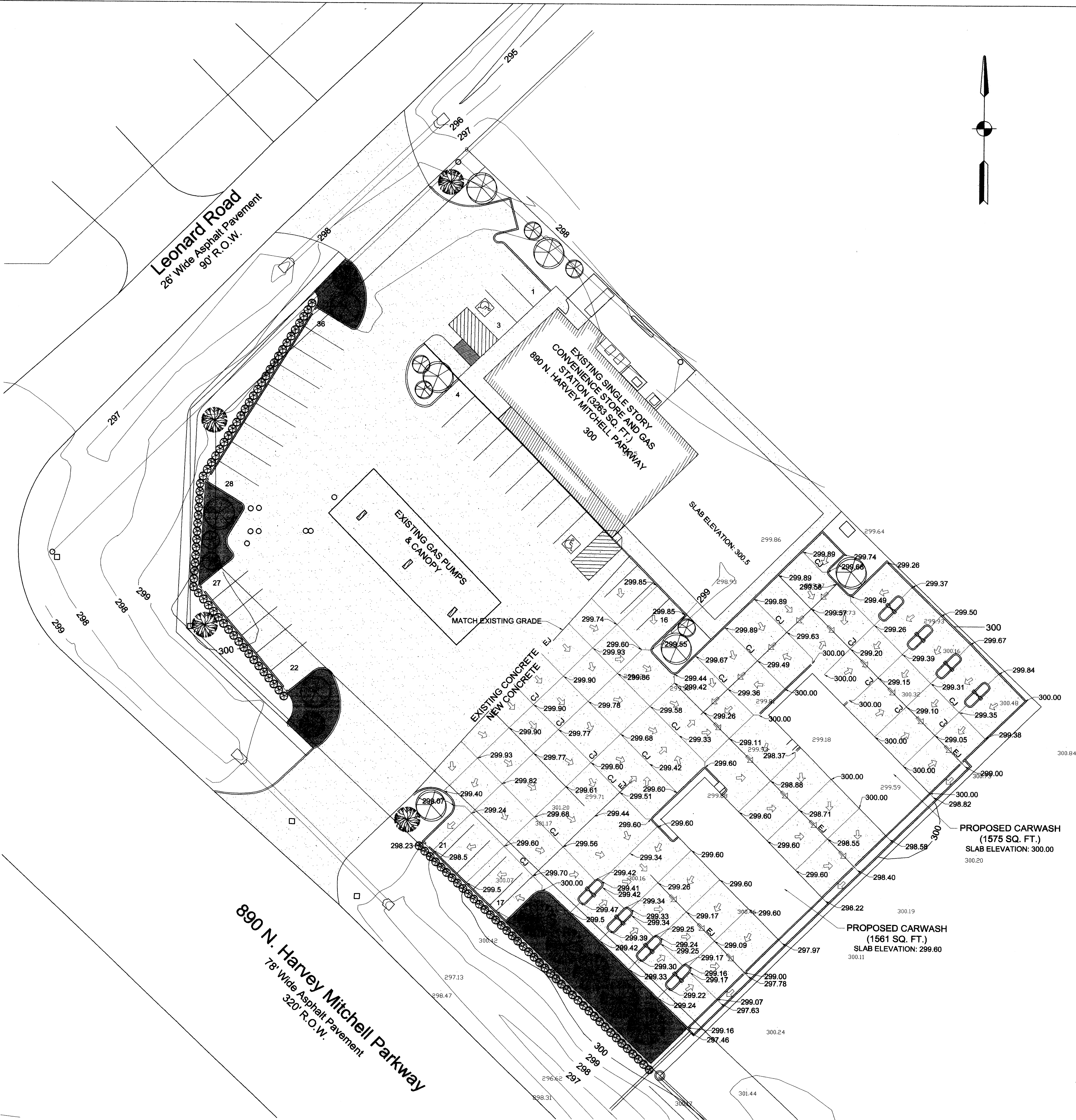
LANDSCAPE ANALYSIS

DEVELOPED AREA: 56,877 SQ. FT.
REQUIRED: 15% = 8,531.55

TREES:
8,531.55 x 50% = 4,266.775 REQUIRED
CANOPY TREES: 14 x 200 = 2,800
NON-CANOPY TREES: 13 x 150 = 1,950
TOTAL POINTS FROM TREES: 4,750


SHRUBS: 100 x 5 = 500
PLANTING BEDS: 2855 SQ. FT. = 2855
GRASS: 4,532 SQ. FT. = 453

TOTAL POINTS: 8,558



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4500 Carter Creek Dr. #203
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NORTH BRYAN
FOOD MART
ADDITION & CARWASH

JOB# 05-140

North Bryan Food Mart, Inc.
P.O. Box 4650
Bryan, TX 77805
(979) 575-4545

01-05-06
SEM-FINISHOUT

02-06-06
SEM/UTR-CITY CHANGES

02-21-06

SHEET: S-3

OF: FOUR

DATE: 02-21-06

SP06-06 #2

SP05-54 #2

USE: AUTO REPAIR W/NO OUTSIDE STORAGE - NO CHANGE OF USE
ZONING: SC-B
SITUS ADDRESS: 103 PEASE ST

BUILDING IS EXISTING CONCRETE TILT-WALL W/CONCRETE SLAB. BUILDING IS COMPLETELY SPRINKLED AND SINGLE-STORY

SCALE: 1" = 60'

N/E UNION PACIFIC RAILROAD COMPANY
PORTION OF 8.155 ACRE TRACT
(PARTS OF BLOCKS D, E, G & H)

3/4" INCH IRON ROD FOUND (30) IN CONCRETE ON THE EAST LINE OF SOUTH MAIN STREET. THIS ROD IS CALLED "STAKE" AND IS USED TO STAKE THE CORNER OF THE TRACT. THE CORNER OF THE TRACT IS DESCRIBED BY A DEED TO ACRE CLASS COMPANY, VOL. 2781, PG. 148 BEARS N 05°13'00" W - 789.58

LAY OF ASSE IS 387°

EXISTING CLEANOUT LOCATION W/SAMPLE WELL

CALL NORTHWEST CORNER BLOCK H, SOUTHERN ADDITION 23/42

TOTAL DEED CALL DISTANCE TO R.O.W. OF SOUTH MAIN

POINT OF BEGINNING

POINT OF BEGINNING

EXISTING CURB

EXISTING CURB

PARKING LOT SCREENING FROM S. COLLEGE

EXISTING 3750 SE COVERED STORAGE AREA TO BE ENCLOSED WITH HARDY BOARD Siding. NO METAL Siding will BE USED

THIS LINE WAS ESTABLISHED TO BE PARALLEL TO THE EXISTING TRACK AS LOCATED ON THE GROUND

10 - LIVE OAK TREE

10 - CREPE MYRTLE

10 - 2' TALL SHRUBS

N/E UNION PACIFIC RAILROAD COMPANY
PORTION OF 8.155 ACRE TRACT
(PARTS OF BLOCKS D, E, G & H)

EXISTING ASBESTOS PAVING

FORMERLY WAGO & BRAZOS VALLEY RAILROAD COMPANY
ALL OF BLOCKS D, E, G & H AND THE ADJOINING 10 ACRES SOUTH OF BLOCK H 22/246

OWNER OF RECORD IS PARULIAN FAMILY LIMITED PARTNERSHIP
717 B UNIVERSITY DR
COLLEGE STATION, TX 77840

TYPES OF WASTE STREAMS: Normal Domestic RECYCLABLE MATERIAL

NO FLOOR DRAINS EXIST IN THE SERVICE OR STORAGE AREAS

LINE TABLE

LEGEND:
1. 1/2" INCH IRON ROD SET
2. "X" SET IN CONCRETE
3. POLYMER PIPE
4. UTILITY POLE
5. 1/2" WIRE ANCHOR
6. AERIAL ELECTRIC LINES
7. CENTERLINE OF RAILROAD TRACKS
8. CHAIN LINK FENCE
9. GRAVEL
10. CONCRETE
11. EXISTING BUILDING
12. ADJOINING BUILDING
13. EXISTING MONUMENTS
14. BEARING FROM BURNING BEARS
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100. BEARING FROM BURNING BEARS

DETAIL OF BUILDING LOCATION TO PROPERTY LINE

NOT TO SCALE

TRACT A 1.8015 ACRES

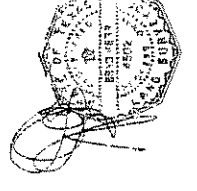
TRACT B 0.5605 ACRES

THIS BUILDING DOES PROVIDE COVER PROPERTY LINE AS SHOWN

BRAD KERR
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 4802

SURVEYOR'S CERTIFICATE:
I, BRAD KERR, R.L.S. NO. 4802, DO HEREBY CERTIFY THAT THIS PLAN IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY MADE BY ME AND THAT THERE ARE NO ENCUMBRANCES ON THIS TRACT EXCEPT AS SHOWN HEREON. THIS TRACT DOES NOT LIE WITHIN A DESIGNATED 100 YEAR FLOOD PLAIN ACCORDING TO THE F.I.R.M. MAPS, COMMUNITY PANEL NO. 48041C0133 C, EFFECTIVE DATE: 07-02-1982.

GRAVING PLAN & VICINITY MAP ATTACHED



REVISED 12-09-99, ADDED SETBACK LINES

LAND TITLE SURVEY PLAT OF A

1.6015 ACRE TRACT - TRACT A AND A 0.5605 ACRE TRACT - TRACT B

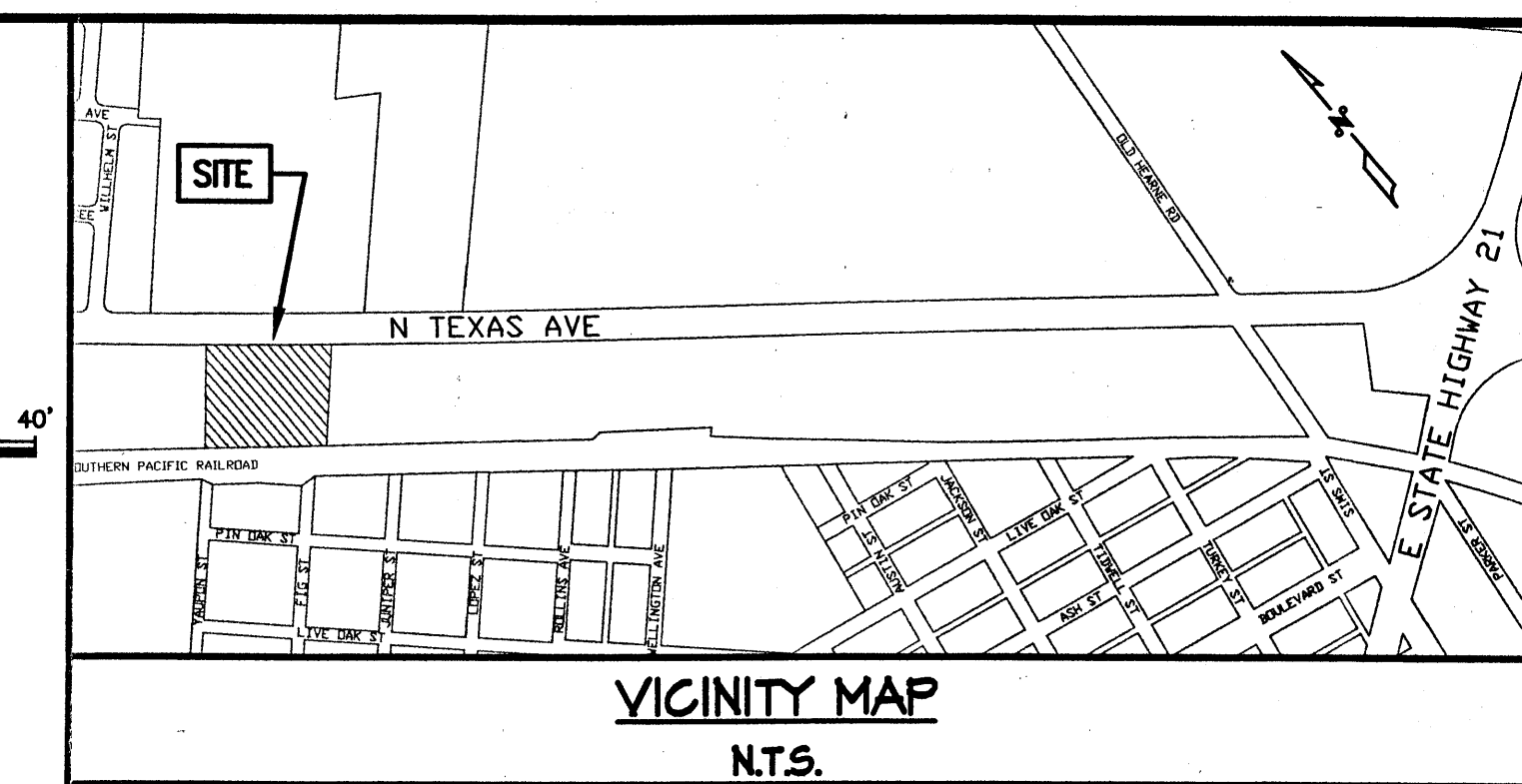
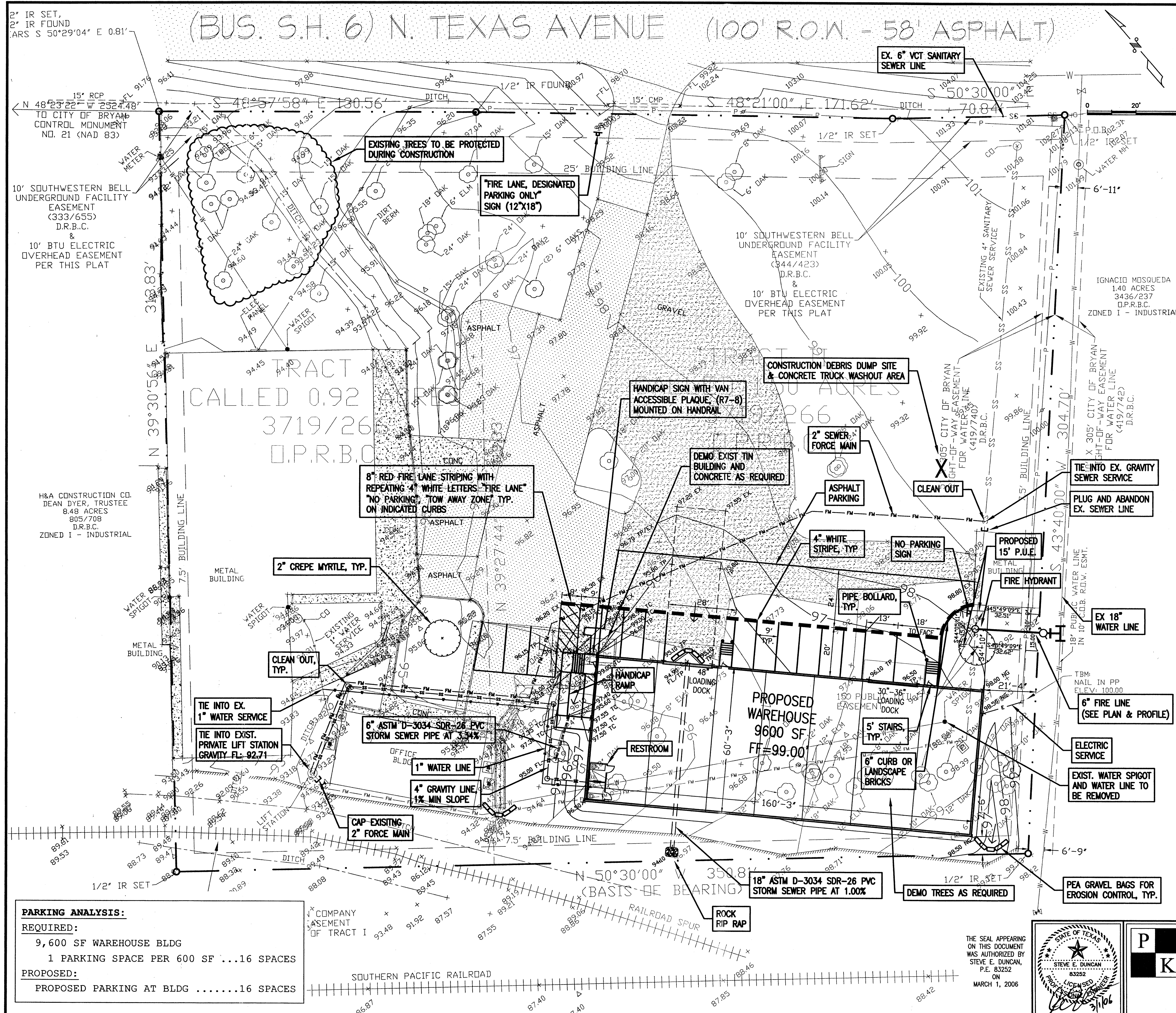
PORTION OF BLOCK H SMYTHE ADDITION

VOLUME 23, PAGE 42 BRYAN, BRAZOS COUNTY, TEXAS

SCALE: 1 INCH = 30 FEET
SURVEY DATE: 10-29-99
PLAT DATE: 11-03-99
JOB NUMBER: 99-1261
CAD NAME: 99-1261
CIS FILE: BOT

PREPARED BY: KERR SURVEYING CO.
805 CHURCH STREET, P.O. BOX 269
COLLEGE STATION, TEXAS 77841

BUYER: ROBERT S. SMITH
TITLE COMPANY: BRAZOS COUNTY ABSTRACT COMPANY
G.F. No.: 133992



- NOTES:**
- LEGAL DESCRIPTION: 0.92 ACRE (TRACT D) AND 1.50 ACRES (TRACT ID) IN STEPHEN F. AUSTIN LEAGUES 9 & 10, ABSTRACT NOS. 62 & 63, BRYAN, BRAZOS COUNTY, TEXAS AS DESCRIBED IN VOLUME 3719, PAGE 266 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS.
 - SURVEYED NOVEMBER 7, 2005 BY JOHN E. PLEDGER, III, RPLS NO. 2183.
 - CURRENT ZONING IS I - INDUSTRIAL
 - THERE EXISTS AN UNLOCATABLE 10' RIGHT-OF-WAY EASEMENT TO THE CITY OF BRYAN ACROSS BOTH TRACTS RECORDED IN VOLUME 100, PAGE 234 (D.R.B.C.) FOR PUBLIC UTILITIES.
 - THIS PROPERTY DOES NOT APPEAR TO LIE WITHIN A 100-YR FLOOD PLAIN BASED ON FEMA COMMUNITY PANEL NO. 480082 0004 B DATED MAY 19, 1981.
 - EXISTING BUILDINGS ENCRDACH SIDE LOT BUILDING SETBACKS AS OUTLINED IN THE SITE DEVELOPMENT REVIEW ORDINANCE, ARTICLE IV, DIVISION 1, SECTION 20-56.
 - ALL ELEVATIONS ARE TOP-OF-CURB, TOP-OF-WALK, OR TOP OF GROUND, UNLESS OTHERWISE NOTED. TP = TOP-OF-PAVEMENT, FL = FLOW LINE.
 - THE CONTRACTOR SHALL COMPLETE ALL EXCAVATION ACTIVITIES TO THE LINES AND GRADES SHOWN BY THIS PLAN. UNIFORM SMOOTH GRADING OF ALL AREA SHALL BE ACCOMPLISHED. THE FINISHED SURFACE SHALL BE REASONABLY SMOOTH AND FREE FROM IRREGULAR SURFACE CHANGES.
 - THE TOTAL AREA OF THE SITE SHALL HAVE EXISTING VEGETATION AND TOPSOIL REMOVED AND STORED ON-SITE FOR LATER USE IN PROVIDING FINAL COVER.
 - UPON COMPLETION OF FINAL GRADE, THE CONTRACTOR SHALL PROVIDE SEEDING AND FERTILIZER FOR ALL DISTURBED AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION AND REPLANTING UNTIL A COVERED STAND IS OBTAINED.
 - THE CONTRACTOR SHALL COMPLY WITH THE EPA STORM WATER DISCHARGE PROGRAM AND IS RESPONSIBLE FOR PREPARATION AND FILING OF ANY REQUIRED FORMS.
 - ALL WORK SHALL COMPLY WITH CITY OF BRYAN STANDARDS.
 - DIG TESS WAS CONTACTED ON 11-1-2005 AND ALL UTILITIES THAT WERE LOCATED WERE SURVEYED (TICKET NO. 053054357).
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURANCE OF WIND BLOWN LITTER FROM THE PROJECT SITE.
 - NORMAL DOMESTIC WASTEWATER WILL BE GENERATED BY THIS SITE.
 - OWNER HAULS SOLID WASTE FROM SITE VIA PRIVATE CONTRACTOR.
 - HEIGHT OF STORED MATERIALS IN PROPOSED WAREHOUSE SHALL NOT EXCEED 12 FEET.
 - OWNER: RONALD WEATHERFORD, 2700 N TEXAS AVE, BRYAN, TX 77803, 979-778-5688.

LANDSCAPE ANALYSIS (ARTICLE VII):

REQUIRED:

16,000 SF SITE AREA (PROPOSED BLDG & PARKING)	
16,000 SF x 15%.....	2,400 SF
TOTAL LANDSCAPNG REQUIRED.....	2,400 SF

PROPOSED:

EX. CANOPY TREE, PROTECTED DURING CONSTRUCTION,	
11 @ 225 SF.....	2,475 SF

PARKING ANALYSIS:

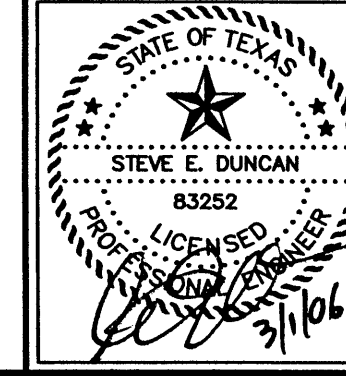
REQUIRED:

9,600 SF WAREHOUSE BLDG	
1 PARKING SPACE PER 600 SF ...	16 SPACES

PROPOSED:

PROPOSED PARKING AT BLDG	16 SPACES
--------------------------------	-----------

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY STEVE E. DUNCAN, P.E. 83252 ON MARCH 1, 2006



P K

Pledger Kalkomey, Inc.

Consulting Engineers

7020 Coyote Run • Bryan, Texas 77808
979-731-8000 • 979-731-1500 (Fax)
www.pkengineering.com
Brenham • Bryan • Rosenberg

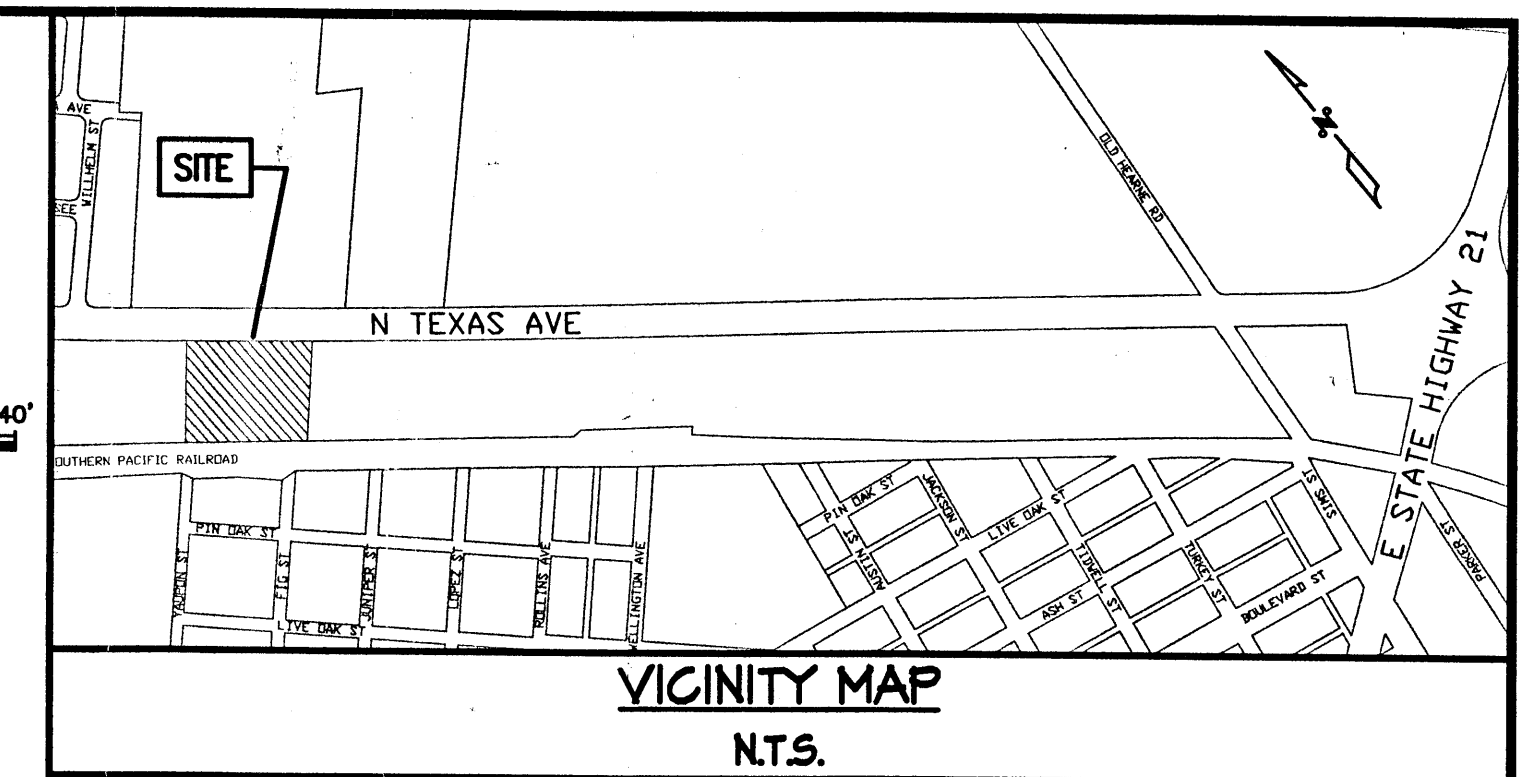
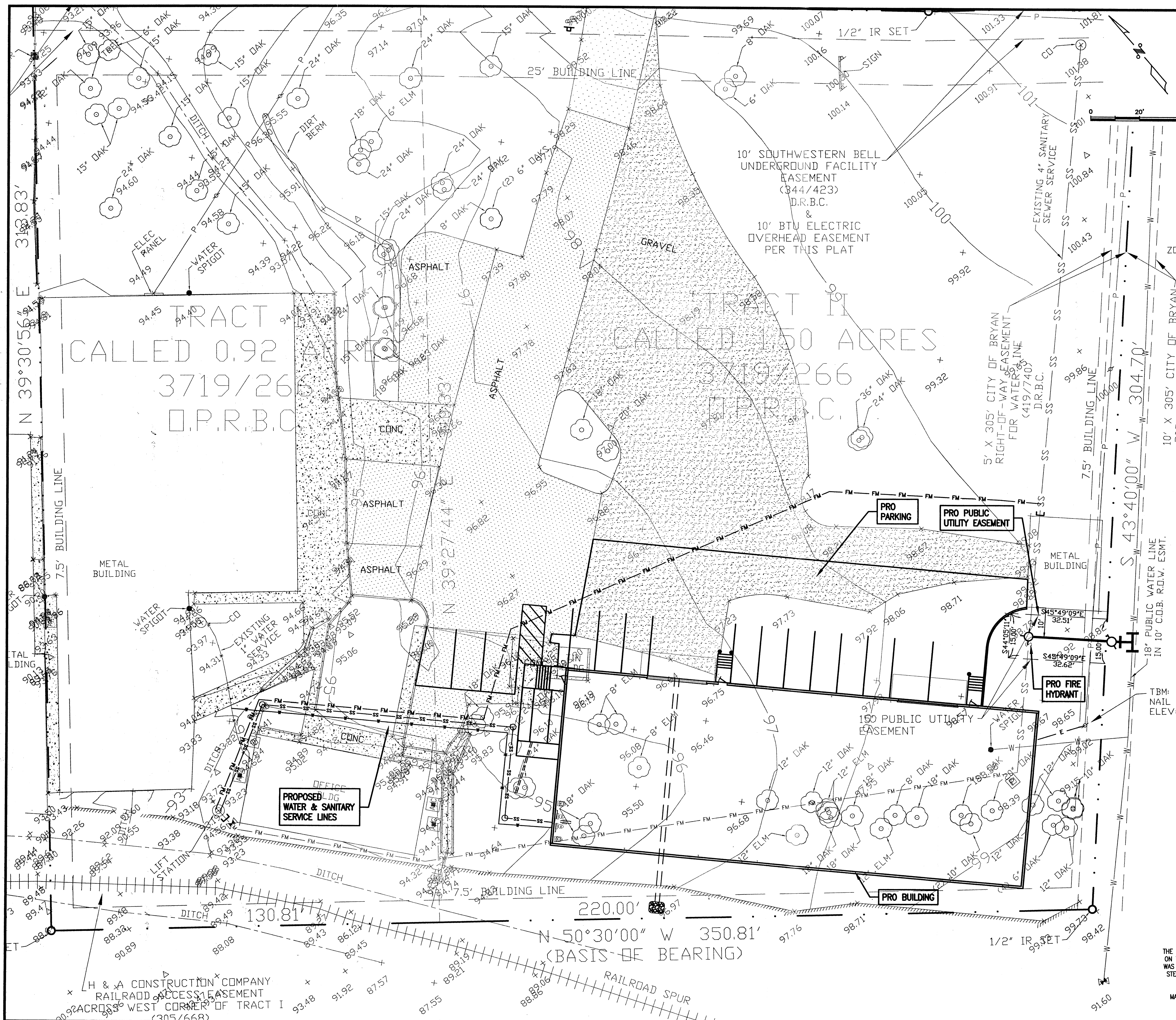
Weatherford Door Co., Inc.

2700 N. Texas Ave., Bryan

City Site & Erosion Control Plan

Design: SED CAD: BSS Job No: 43305-231 Drawing No: 1 of 2

SP05-52



VICINITY MAP
N.T.S.

IGNACIO MOSQUEDA
1.40 ACRES
3436/237
O.P.R.B.C.
ZONED I - INDUSTRIAL

LEGAL DESCRIPTION:
0.92 ACRE (TRACT I) AND 1.50 ACRES (TRACT II) IN STEPHEN F. AUSTIN LEAGUES 9 & 10, ABSTRACT NOS. 62 & 63, BRYAN, BRAZOS COUNTY, TEXAS AS DESCRIBED IN VOLUME 3719, PAGE 266 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS.

SURVEYED:
NOVEMBER 7, 2005 BY
JOHN E. PLEDGER, III,
RPLS NO. 2183
1500 S. DAY ST.
BRENNHAM, TEXAS 77833

ZONED:
I - INDUSTRIAL

NOTES:
THERE EXISTS AN UNLOCATABLE 10' RIGHT-OF-WAY EASEMENT TO THE CITY OF BRYAN ACROSS BOTH TRACTS RECORDED IN VOLUME 100, PAGE 234 (O.R.B.C.) FOR PUBLIC UTILITIES.

THIS PROPERTY DOES NOT APPEAR TO LIE WITHIN A 100-YR FLOOD PLAIN BASED ON FEMA COMMUNITY PANEL NO. 480082 0004 B DATED MAY 19, 1981.

EXISTING BUILDINGS ENCRDACH SIDE LOT BUILDING SETBACKS AS OUTLINED IN THE SITE DEVELOPMENT REVIEW ORDINANCE, ARTICLE IV, DIVISION 1, SECTION 20-56.

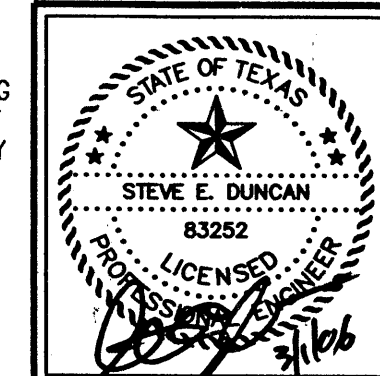
TBM:
NAIL IN PP
ELEV: 100.00

WEATHERFORD ADDITION PRELIMINARY PLAN **2.562 ACRES**

MARCH 1, 2006

PROPERTY OWNER: WEATHERFORD DOOR CO., INC. &
RONALD W. WEATHERFORD
2700 N. TEXAS AVE.
BRYAN, TEXAS 77803

THE SEAL APPEARING
ON THIS DOCUMENT
WAS AUTHORIZED BY
STEVE E. DUNCAN,
P.E. 83252
ON
MARCH 1, 2006



P

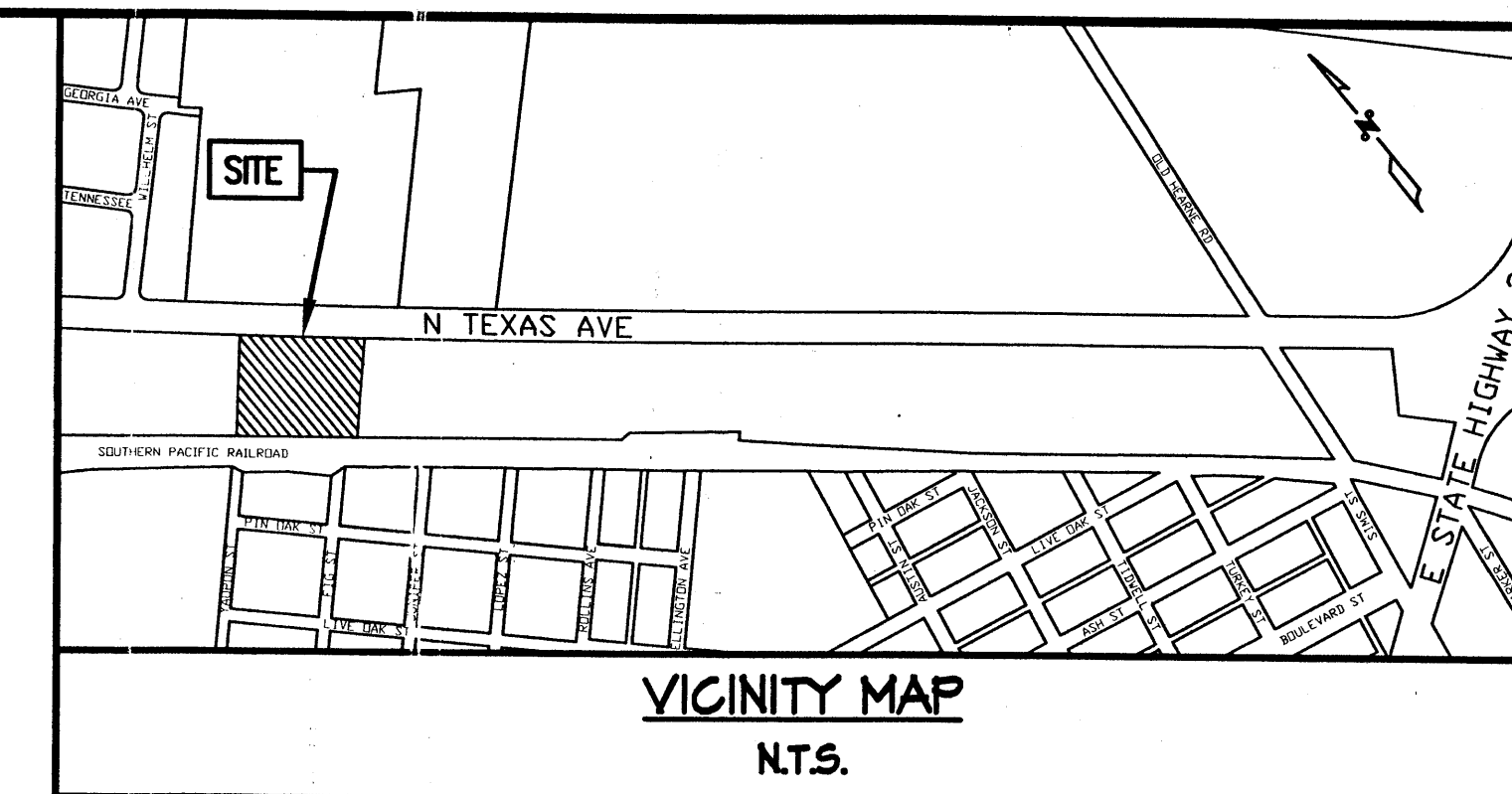
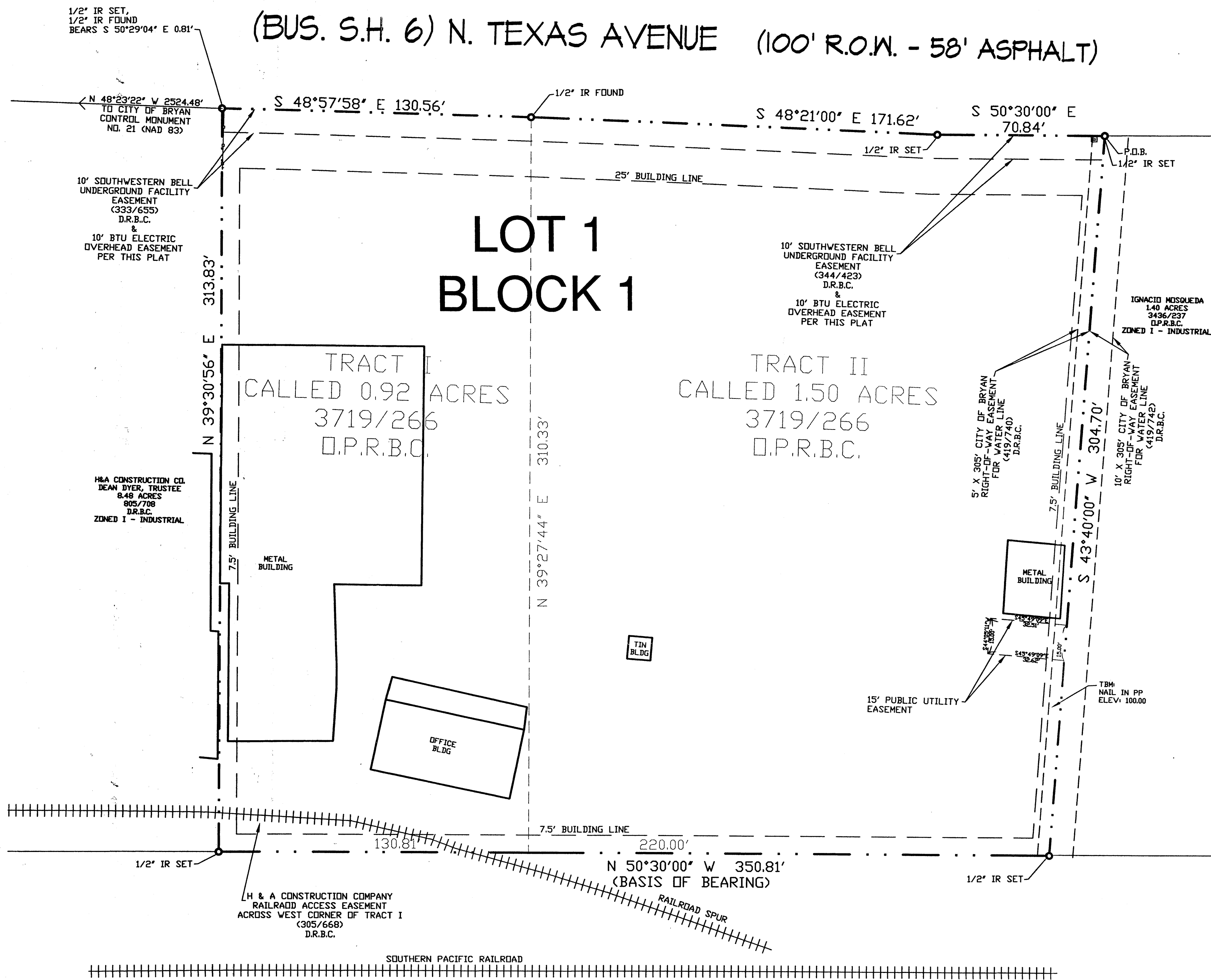
K

Pledger Kalkomey, Inc.

Consulting Engineers

7020 Coyote Run • Bryan, Texas 77808
979-731-8000 • 979-731-1500 (Fax)
www.pkengineering.com
Brenham • Bryan • Rosenberg

PP05-29 #3



LEGAL DESCRIPTION:
0.92 ACRE (TRACT I) AND 1.50 ACRES (TRACT II) IN STEPHEN F. AUSTIN LEAGUES 9 & 10, ABSTRACT NOS. 62 & 63, BRYAN, BRAZOS COUNTY, TEXAS AS DESCRIBED IN VOLUME 3719, PAGE 266 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS.

SURVEYED:
NOVEMBER 7, 2005 BY
JOHN E. PLEDGER, III,
RPLS NO. 2183
1500 S. DAY ST.
BRENNHAM, TEXAS 77833

ZONED:
I - INDUSTRIAL

METES AND BOUNDS:
ALL THAT CERTAIN TRACT OR PARCEL OF LAND, lying and being situated in both the Stephen F. Austin League No. 9, A-62 and the Stephen F. Austin League No. 10, A-63, Bryan, Brazos County, Texas and being all of the land described as Tracts I and II in a deed to Weatherford Door Co., Inc and Ronald W. Weatherford recorded in Volume 3719, Page 266 of the Official Public Records of Brazos County, Texas (D.P.R.B.C.) and being more particularly described as follows:

BEGINNING at a 1/2" iron rod set in the southwest line of Business S.H. 6 (N. Texas Ave.) for the east corner of this tract, also being the east corner of the said Tract II, also being the north corner of the Ignacio M. Mosqueda 140-acre tract as recorded in Volume 3436, Page 237 (D.P.R.B.C.);

THENCE along the southeast line of this tract S 43°40'00" W, 304.70 feet to a 1/2" iron rod set for the south corner of this tract, also being the west corner of the said Mosqueda tract, also lying in the northeast line of the Southern Pacific Railroad;

THENCE along the northeast line of the said railroad N 50°30'00" W, 220.00 feet to a 1/2" iron rod set at the west corner of the said Tract II and the south corner of the said Tract I;

THENCE continuing along the northeast line of the said railroad N 50°30'00" W, 130.81 feet to a 1/2" iron rod set for the west corner of this tract, also being the west corner of the said Tract I, also being the south corner of the H. & A. Construction Co. 5.436-acre Tract One as recorded in Volume 805, Page 708 of the Deed Records of Brazos County, Texas;

THENCE along the northwest line of this tract N 39°30'56" E, 313.83 feet to a 1/2" iron rod set for the north corner of this tract, also being the north corner of the said Tract I, also being the east corner of the said H. & A. Construction Co. 5.436-acre Tract One as recorded in Volume 805, Page 708 of the Deed Records of Brazos County, Texas;

THENCE along the southwest line of Business 6 S 48°57'58" E, 130.56 feet to a 1/2" iron rod found at the east corner of the said Tract I and the north corner of the said Tract II;

THENCE continuing along the southwest line of Business 6 S 48°21'00" E, 171.62 feet to a 1/2" iron rod set for an angle point in the northeast line of this tract;

THENCE continuing along the southwest line of Business 6 S 50°30'00" E, 70.84 feet to the PLACE OF BEGINNING containing 2.562 acres.

NOTES:
THERE EXISTS AN UNLOCATABLE 10' RIGHT-OF-WAY EASEMENT TO THE CITY OF BRYAN ACROSS BOTH TRACTS RECORDED IN VOLUME 100, PAGE 234 (D.R.B.C.) FOR PUBLIC UTILITIES.

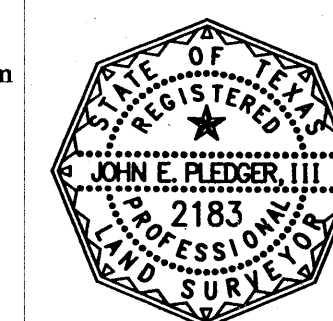
THIS PROPERTY DOES NOT APPEAR TO LIE WITHIN A 100-YR FLOOD PLAIN BASED ON FEMA COMMUNITY PANEL NO. 480082 0004 B DATED MAY 19, 1981.

EXISTING BUILDINGS ENCRDACH SIDE LOT BUILDING SETBACKS AS OUTLINED IN THE SITE DEVELOPMENT REVIEW ORDINANCE, ARTICLE IV, DIVISION 1, SECTION 20-56.

WEATHERFORD ADDITION FINAL PLAT LOT 1, BLOCK 1 2.562 ACRES

MARCH 1, 2006

PROPERTY OWNER: WEATHERFORD DOOR CO., INC. &
RONALD W. WEATHERFORD
2700 N. TEXAS AVE.
BRYAN, TEXAS 77803



Pledger Kalkomey, Inc.
Consulting Engineers
7020 Coyote Run • Bryan, Texas 77808
979-731-8000 • 979-731-1500 (Fax)
www.pkengineering.com
Brenham • Bryan • Rosenberg

Registered Professional Land Surveyor

APPROVAL OF THE PLANNING AND ZONING COMMISSION

I, _____, Chairman of the Planning and Zoning Commission of the City of Bryan, State of Texas, hereby certify that the attached plat was duly filed for approval with the Planning & Zoning Commission of the City of Bryan on the _____ day of _____, 20____ and same was duly approved on the _____ day of _____, 20____ by said Commission.

Chairman, Planning & Zoning Commission
Bryan, Texas

APPROVAL OF THE CITY PLANNER

I, the undersigned, City Planner and/or designated Secretary of the Planning & Zoning commission of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the _____ day of _____, 20____.

City Planner, Bryan, Texas

APPROVAL OF THE CITY ENGINEER

I, the undersigned, City Engineer of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the _____ day of _____, 20____.

City Engineer, Bryan, Texas

CERTIFICATION BY THE COUNTY CLERK

(STATE OF TEXAS)
(COUNTY OF BRAZOS)

I, _____, County Clerk in and for Brazos County do hereby certify that this plat together with its certificates of authentication was filed for record in my office the _____ day of _____, 20____, in the Official Public Records of Brazos County, Texas in Volume _____, Page _____.

WITNESS my hand and official seal, at my office in Bryan, Texas.

County Clerk
Brazos County, Texas

CERTIFICATION OF OWNERSHIP AND DEDICATION

(STATE OF TEXAS)
(COUNTY OF BRAZOS)

I (We), _____, the owner(s) and developer(s) of the land shown on this plat, being Tracts I and II as conveyed to me (us, it) in the Official Public Records of Brazos County in Volume 3719, Page 266, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places shown hereon for the purposes identified.

Owner(s)

(STATE OF TEXAS)
(COUNTY OF BRAZOS)

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he/they executed the same for the purpose stated.

Given under my hand and seal of office this _____ day of _____, 20____.

Notary Public, Brazos County, Texas

Received

FEB 27 2006

Development & Engineering
Services

EP05-29 #3